

**LANDMARK AT  
DORAL**

**COMMUNITY DEVELOPMENT  
DISTRICT**

**November 15, 2023**

**BOARD OF SUPERVISORS  
REGULAR MEETING  
AGENDA**

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**AGENDA  
LETTER**

# Landmark at Doral Community Development District

## OFFICE OF THE DISTRICT MANAGER

2300 Glades Road, Suite 410W • Boca Raton, Florida 33431

Phone: (561) 571-0010 • Fax: (561) 571-0013 • Toll-free: (877) 276-0889

November 8, 2023

### **ATTENDEES:**

Please identify yourself each time you speak to facilitate accurate transcription of meeting minutes.

Board of Supervisors  
Landmark at Doral Community Development District

Dear Board Members:

The Board of Supervisors of the Landmark at Doral Community Development District will hold a Regular Meeting on November 15, 2023 at 4:00 p.m., at the Landmark Clubhouse, 10220 NW 66<sup>th</sup> Street, Doral, Florida 33178. The agenda is as follows:

1. Call to Order/Roll Call
2. Public Comments
3. Discussion/Consideration (new business) **(45 minutes)**
  - A. Lighting Deficiencies within CDD Tracts
  - B. Lake Bank Beautification Project
  - C. Allstate: Weeds Through Fencing on Bike Path and Trash Pick Up
  - D. Brightview Proposal for Wetland Buffer Weed Control
  - E. Proposals for Storm Drain Cleaning 5-Year Plan
  - F. Proposals for Emergency Repairs
4. Updates **(15 minutes)**
  - A. SCS Engineers Change Order #5
  - B. Maintenance Scorecard Review of CDD Property
    - Landmark at Doral CDD
    - Landmark at Doral HOA
    - Landmark at Doral South
5. Consent Agenda Items **(5 minutes)**
  - A. Acceptance of Unaudited Financial Statements as of September 30, 2023
  - B. Approval of September 13, 2023 Public Hearings and Regular Meeting Minutes

6. Staff Reports

- A. District Counsel: *Billing, Cochran, Lyles, Mauro & Ramsey, P.A.*
  - B. District Engineer: *Alvarez Engineers, Inc.*
  - C. District Manager: *Wrathell, Hunt and Associates, LLC*
- NEXT MEETING DATE: December 20, 2023 at 4:00 PM

○ QUORUM CHECK

SEAT 1	ODEL TORRES	<input type="checkbox"/>	IN PERSON	<input type="checkbox"/>	PHONE	<input type="checkbox"/>	NO
SEAT 2	JUAN CARLOS TELLEZ	<input type="checkbox"/>	IN PERSON	<input type="checkbox"/>	PHONE	<input type="checkbox"/>	NO
SEAT 3	JORGE FINOL	<input type="checkbox"/>	IN PERSON	<input type="checkbox"/>	PHONE	<input type="checkbox"/>	NO
SEAT 4	SU WUN BOSCO LEU	<input type="checkbox"/>	IN PERSON	<input type="checkbox"/>	PHONE	<input type="checkbox"/>	NO
SEAT 5	TODD PATTERSON	<input type="checkbox"/>	IN PERSON	<input type="checkbox"/>	PHONE	<input type="checkbox"/>	NO

7. Public Comments

8. Supervisors' Requests

9. Adjournment

Please do not hesitate to contact me directly at (561) 909-7930 with any questions.

Sincerely,



Daniel Rom  
District Manager

**FOR BOARD MEMBERS AND STAFF TO ATTEND BY TELEPHONE**

**CALL-IN NUMBER: 1-888-354-0094**

**PARTICIPANT PASSCODE: 528 064 2804**

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**3D**

**From:** [Daniel Rom](#)  
**To:** [Daphne Gillyard](#); [Gianna Denofrio](#)  
**Subject:** RE: Landmark at Doral Wetland Conservation Area and Allowed/Not Allowed Vegetation  
**Date:** Friday, October 27, 2023 12:28:28 PM  
**Attachments:** [image001.png](#)

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Please add as cover to the proposal (waiting on it) for agenda item: 3d

Thanks,

**Daniel Rom**  
**District Manager**  
**Wrathell, Hunt and Associates, LLC**  
**Phone: 561.571.0010**  
**Toll Free: 877.276.0889**  
**Fax: 561.571.0013**  
**Cell: 561.909.7930**  
**E-Mail: [romd@whhassociates.com](mailto:romd@whhassociates.com)**

**Mailing Address (for all payments sent via US Mail):**  
**P.O. Box 810036**  
**Boca Raton, FL 33481**

**Physical Address (for all payments sent via express services):**  
**2300 Glades Road, Suite 410W**  
**Boca Raton, FL 33431**

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**From:** Steve Montgomery <[smontgomery@allstatemanagement.com](mailto:smontgomery@allstatemanagement.com)>  
**Sent:** Monday, September 18, 2023 1:30 PM  
**To:** 'Juan R. Alvarez' <[Juan.Alvarez@AlvarezEng.com](mailto:Juan.Alvarez@AlvarezEng.com)>; 'Shannon L. Denouden' <[Shannon.Denouden@brightview.com](mailto:Shannon.Denouden@brightview.com)>  
**Cc:** Daniel Rom <[romd@whhassociates.com](mailto:romd@whhassociates.com)>; 'Angel Camacho' <[Angel.Camacho@AlvarezEng.com](mailto:Angel.Camacho@AlvarezEng.com)>  
**Subject:** RE: Landmark at Doral Wetland Conservation Area and Allowed/Not Allowed Vegetation

Good afternoon Angel and Shannon,

From what I can see in the picture nothing there looks like any of the listed exotic species. It's mostly just common pioneer species like beggar tick, sedges, clover, fleabane etc... These sorts of plants are always going to fill in any open space. We tend to focus on the marsh itself and control of any exotic species in order to maintain compliance with the State and County. We're only onsite on a quarterly basis so we wouldn't realistically be able to regularly maintain these fast growing starter species in the area between the marsh and upland landscaping. This growth would likely need regular maintenance as this area will constantly re-seed and grow. It's nature doing it's thing, and the only way you're going to be able to keep the area completely clear is to constantly be spraying back or cutting the re-growth.

Monty

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**From:** Juan R. Alvarez <[Juan.Alvarez@AlvarezEng.com](mailto:Juan.Alvarez@AlvarezEng.com)>

**Sent:** Monday, September 18, 2023 10:27 AM

**To:** Shannon L. Denouden <[Shannon.Denouden@brightview.com](mailto:Shannon.Denouden@brightview.com)>; Steve Montgomery <[smontgomery@allstatemanagement.com](mailto:smontgomery@allstatemanagement.com)>

**Cc:** Daniel Rom <[romd@whhassociates.com](mailto:romd@whhassociates.com)>; Angel Camacho <[Angel.Camacho@AlvarezEng.com](mailto:Angel.Camacho@AlvarezEng.com)>

**Subject:** Landmark at Doral Wetland Conservation Area and Allowed/Not Allowed Vegetation

Good morning, Shannon and Steve:

Let me introduce yourselves in case you haven't communicated before. Steve Montgomery of Allstate is in charge of the removal of exotics and trash collection in the wetland conservation area. Shannon Denouden is in charge of the upland landscaping at the perimeters of the conservation area.

At the last CDD meeting it was discussed that plants from the conservation area are growing into the upland landscaping, and it is not very clear if the encroaching vegetation are exotics or not. For that purpose, I am attaching a set of mitigation plans with the list of exotic plants that are not allowed in the Conservation Area, and lists of plants that are allowed in the transitional upland areas and in the marsh. I am also attaching a typical illustrative picture showing where the wetland and landscaping vegetation meet.

Would you communicate with each other and let us know what the best solution is to solve the problem?

Thank you.

**Logo (Color)**



**Juan R. Alvarez, P.E.**

(305) 640-1345

[Juan.Alvarez@alvarezeng.com](mailto:Juan.Alvarez@alvarezeng.com)

## Proposal for Extra Work at NW 62nd St setback area cleanup as per bright green highlighted area on map

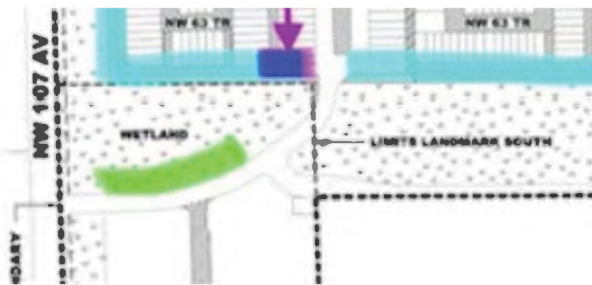
Property Name	NW 62nd St setback area cleanup as per bright green highlighted area on map	Contact	Angel Camacho
Property Address	2300 Glades Rd Suite 410W Boca Raton , FL 33431	To Billing Address	Alvarez Engineers 8935 NW 35th Ln Ste 101 Doral, FL 33172
Project Name	NW 62nd St setback area cleanup as per bright green highlighted area on map		
Project Description	NW 62nd St setback area cleanup as per bright green highlighted area on map		

### Scope of Work

QTY	UoM/Size	Material/Description
1.00	LUMP SUM	Removal and disposal of invasive weeds and vines that are encroaching into the NW62nd landscape. A 2-3 foot area within the setback area will be cleaned out to provide space to keep the area maintained and from spreading into the street landscape.
1.00	LUMP SUM	No wetland marsh or planted upland buffer plantings will be touched. Only weeds and vines that are in the setback area will be removed.

### Images

#### 62nd St



For internal use only

SO# 8198862  
JOB# 353800000  
Service Line 130

**Total Price** \$7,478.17

#### THIS IS NOT AN INVOICE

This proposal is valid for thirty (30) days unless otherwise approved by Contractor's Senior Vice President  
4155 East Mowry Dr, Homestead, FL 33033 ph. (305) 258-8011 fax (305) 258-0809



## TERMS & CONDITIONS

1. The Contractor shall recognize and perform in accordance with written terms, written specifications and drawings only contained or referred to herein. All materials shall conform to bid specifications.
2. **Work Force:** Contractor shall designate a qualified representative with experience in landscape maintenance/construction upgrades or when applicable in tree management. The workforce shall be competent and qualified, and shall be legally authorized to work in the U.S.
3. **License and Permits:** Contractor shall maintain a Landscape Contractor's license, if required by State or local law, and will comply with all other license requirements of the City, State and Federal Governments, as well as all other requirements of law. Unless otherwise agreed upon by the parties or prohibited by law, Customer shall be required to obtain all necessary and required permits to allow the commencement of the Services on the property.
4. **Taxes:** Contractor agrees to pay all applicable taxes, including sales or General Excise Tax (GET), where applicable.
5. **Insurance:** Contractor agrees to provide General Liability Insurance, Automotive Liability Insurance, Worker's Compensation Insurance, and any other insurance required by law or Customer, as specified in writing prior to commencement of work. If not specified, Contractor will furnish insurance with \$1,000,000 limit of liability.
6. **Liability:** Contractor shall not be liable for any damage that occurs from Acts of God defined as extreme weather conditions, fire, earthquake, etc. and rules, regulations or restrictions imposed by any government or governmental agency, national or regional emergency, epidemic, pandemic, health related outbreak or other medical events not caused by one or other delays or failure of performance beyond the commercially reasonable control of either party. Under these circumstances, Contractor shall have the right to renegotiate the terms and prices of this Contract within sixty (60) days.
7. Any illegal trespass, claims and/or damages resulting from work requested that is not on property owned by Customer or not under Customer management and control shall be the sole responsibility of the Customer.
8. **Subcontractors:** Contractor reserves the right to hire qualified subcontractors to perform specialized functions or work requiring specialized equipment.
9. **Additional Services:** Any additional work not shown in the above specifications involving extra costs will be executed only upon signed written orders, and will become an extra charge over and above the estimate.
10. **Access to Jobsite:** Customer shall provide all utilities to perform the work. Customer shall furnish access to all parts of jobsite where Contractor is to perform work as required by the Contract or other functions related thereto, during normal business hours and other reasonable periods of time. Contractor will perform the work as reasonably practical after the Customer makes the site available for performance of the work.
11. **Payment Terms:** Upon signing this Agreement, Customer shall pay Contractor 50% of the Proposed Price and the remaining balance shall be paid by Customer to Contractor upon completion of the project unless otherwise, agreed to in writing.
12. **Termination:** This Work Order may be terminated by the either party with or without cause, upon seven (7) workdays advance written notice. Customer will be required to pay for all materials purchased and work complete to the date of termination and reasonable charges incurred in demobilizing.
13. **Assignment:** The Customer and the Contractor respectively, bind themselves, their partners, successors, assignees and legal representative to the other party with respect to all covenants of this Agreement. Neither the Customer nor the Contractor shall assign or transfer any interest in this Agreement without the written consent of the other provided, however, that consent shall not be required to assign this Agreement to any company which controls, is controlled by, or is under common control with Contractor or in connection with assignment to an affiliate or pursuant to a merger, sale of all or substantially all of its assets or equity securities, consolidation, change of control or corporate reorganization.
14. **Disclaimer:** This proposal was estimated and priced based upon a site visit and visual inspection from ground level using ordinary means, at or about the time this proposal was prepared. The price quoted in this proposal for the work described, is the result of that ground level visual inspection and therefore our company will not be liable for any additional costs or damages for additional work not described herein, or liable for any incidents/accidents resulting from conditions, that were not ascertainable by said ground level visual inspection by ordinary means at the time said inspection was performed. Contractor cannot be held responsible for unknown or otherwise hidden defects. Any corrective work proposed herein cannot guarantee exact results. Professional engineering, architectural, and/or landscape design services ("Design Services") are not included in this Agreement and shall not be provided by the Contractor. Any design defects in the Contract Documents are the sole responsibility of the Customer. If the Customer must engage a licensed engineer, architect and/or landscape design professional, any costs concerning these Design Services are to be paid by the Customer directly to the designer involved.

15. **Cancellation:** Notice of Cancellation of work must be received in writing before the crew is dispatched to their location or Customer will be liable for a minimum travel charge of \$150.00 and billed to Customer.

The following sections shall apply where Contractor provides Customer with tree care services:

16. **Tree & Stump Removal:** Trees removed will be cut as close to the ground as possible based on conditions to or next to the bottom of the tree trunk. Additional charges will be levied for unseen hazards such as, but not limited to concrete brick filled trunks, metal rods, etc. If requested mechanical grinding of visible tree stump will be done to a defined width and depth below ground level at an additional charge to the Customer. Defined backfill and landscape material may be specified. Customer shall be responsible for contacting the appropriate underground utility locator company to locate and mark underground utility lines prior to start of work. Contractor is not responsible damage done to underground utilities such as but not limited to, cables, wires, pipes, and irrigation parts. Contractor will repair damaged irrigation lines at the Customer's expense.
17. **Waiver of Liability:** Requests for crown thinning in excess of twenty-five percent (25%) or work not in accordance with ISA (International Society of Arboricultural) standards will require a signed waiver of liability.

### Acceptance of this Contract

By executing this document, Customer agrees to the formation of a binding contract and to the terms and conditions set forth herein. Customer represents that Contractor is authorized to perform the work stated on the face of this Contract. If payment has not been received by Contractor per payment terms hereunder, Contractor shall be entitled to all costs of collection, including reasonable attorneys' fees and it shall be relieved of any obligation to continue performance under this or any other Contract with Customer. Interest at a per annum rate of 1.5% per month (18% per year), or the highest rate permitted by law, may be charged on unpaid balance 15 days after billing.

**NOTICE: FAILURE TO MAKE PAYMENT WHEN DUE FOR COMPLETED WORK ON CONSTRUCTION JOBS, MAY RESULT IN A MECHANIC'S LIEN ON THE TITLE TO YOUR PROPERTY**

### Customer

Signature	Title
<b>Angel Camacho</b>	<b>Alvarez Engineers</b>
Printed Name	Date
<b>Angel Camacho</b>	<b>November 03, 2023</b>

### BrightView Landscape Services, Inc. "Contractor"

Signature	Title
<b>Shannon Denouden</b>	<b>Account Manager Exterior</b>
Printed Name	Date
<b>Shannon Denouden</b>	<b>November 03, 2023</b>

<b>Job #:</b>	<b>353800000</b>		
<b>SO #:</b>	<b>8198862</b>	<b>Proposed Price:</b>	<b>\$7,478.17</b>

## Proposal for Extra Work at Landmark perimeter setback area quarterly maintenance as per highlighted map

Property Name	Landmark perimeter setback area quarterly maintenance as per highlighted map	Contact	Angel Camacho
Property Address	2300 Glades Rd Suite 410W Boca Raton , FL 33431	To Billing Address	Alvarez Engineers 8935 NW 35th Ln Ste 101 Doral, FL 33172
Project Name	Landmark perimeter setback area quarterly maintenance as per highlighted map		
Project Description	Landmark perimeter setback area quarterly maintenance as per highlighted map		

### Scope of Work

QTY	UoM/Size	Material/Description
1.00	LUMP SUM	1X Quarterly maintenance of 2-3 foot strip within the setback area between the planted upland buffer plantings and Landmark perimeter hedge
1.00	LUMP SUM	No wetland marsh or planted upland buffer plantings will be touched. Only weeds and vines that are in the setback area will be removed.

### Images

#### perimeter cleanup areas



For internal use only

SO# 8198811  
JOB# 353800000  
Service Line 130

**Total Price** \$2,324.08

#### THIS IS NOT AN INVOICE

This proposal is valid for thirty (30) days unless otherwise approved by Contractor's Senior Vice President  
4155 East Mowry Dr, Homestead, FL 33033 ph. (305) 258-8011 fax (305) 258-0809

## TERMS & CONDITIONS

1. The Contractor shall recognize and perform in accordance with written terms, written specifications and drawings only contained or referred to herein. All materials shall conform to bid specifications.
2. **Work Force:** Contractor shall designate a qualified representative with experience in landscape maintenance/construction upgrades or when applicable in tree management. The workforce shall be competent and qualified, and shall be legally authorized to work in the U.S.
3. **License and Permits:** Contractor shall maintain a Landscape Contractor's license, if required by State or local law, and will comply with all other license requirements of the City, State and Federal Governments, as well as all other requirements of law. Unless otherwise agreed upon by the parties or prohibited by law, Customer shall be required to obtain all necessary and required permits to allow the commencement of the Services on the property.
4. **Taxes:** Contractor agrees to pay all applicable taxes, including sales or General Excise Tax (GET), where applicable.
5. **Insurance:** Contractor agrees to provide General Liability Insurance, Automotive Liability Insurance, Worker's Compensation Insurance, and any other insurance required by law or Customer, as specified in writing prior to commencement of work. If not specified, Contractor will furnish insurance with \$1,000,000 limit of liability.
6. **Liability:** Contractor shall not be liable for any damage that occurs from Acts of God defined as extreme weather conditions, fire, earthquake, etc. and rules, regulations or restrictions imposed by any government or governmental agency, national or regional emergency, epidemic, pandemic, health related outbreak or other medical events not caused by one or other delays or failure of performance beyond the commercially reasonable control of either party. Under these circumstances, Contractor shall have the right to renegotiate the terms and prices of this Contract within sixty (60) days.
7. Any illegal trespass, claims and/or damages resulting from work requested that is not on property owned by Customer or not under Customer management and control shall be the sole responsibility of the Customer.
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<b>Angel Camacho</b>	<b>Alvarez Engineers</b>
Printed Name	Date
<b>Angel Camacho</b>	<b>November 03, 2023</b>

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Signature	Title
<b>Shannon Denouden</b>	<b>Account Manager Exterior</b>
Printed Name	Date
<b>Shannon Denouden</b>	<b>November 03, 2023</b>

<b>Job #:</b>	<b>353800000</b>		
<b>SO #:</b>	<b>8198811</b>	<b>Proposed Price:</b>	<b>\$2,324.08</b>

## Proposal for Extra Work at Landmark perimeter setback area cleanup as per highlighted map

Property Name	Landmark perimeter setback area cleanup as per highlighted map	Contact	Angel Camacho
Property Address	2300 Glades Rd Suite 410W Boca Raton , FL 33431	To Billing Address	Alvarez Engineers 8935 NW 35th Ln Ste 101 Doral, FL 33172
Project Name	Landmark perimeter setback area cleanup as per highlighted map		
Project Description	Landmark perimeter setback area cleanup as per highlighted map		

### Scope of Work

QTY	UoM/Size	Material/Description
1.00	LUMP SUM	Removal and disposal of invasive weeds and vines that are encroaching into the Landmark perimeter hedge. A 2-3 foot area within the setback area will be cleaned out to provide space to keep the area maintained and from spreading into the community.
1.00	LUMP SUM	No wetland marsh or planted upland buffer plantings will be touched. Only weeds and vines that are in the setback area will be removed.

### Images

perimeter cleanup areas



For internal use only

**SO#** 8198788  
**JOB#** 353800000  
**Service Line** 130

**Total Price** \$18,875.08

**THIS IS NOT AN INVOICE**

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4155 East Mowry Dr, Homestead, FL 33033 ph. (305) 258-8011 fax (305) 258-0809

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The following sections shall apply where Contractor provides Customer with tree care services:

16. **Tree & Stump Removal:** Trees removed will be cut as close to the ground as possible based on conditions to or next to the bottom of the tree trunk. Additional charges will be levied for unseen hazards such as, but not limited to concrete brick filled trunks, metal rods, etc. If requested mechanical grinding of visible tree stump will be done to a defined width and depth below ground level at an additional charge to the Customer. Defined backfill and landscape material may be specified. Customer shall be responsible for contacting the appropriate underground utility locator company to locate and mark underground utility lines prior to start of work. Contractor is not responsible damage done to underground utilities such as but not limited to, cables, wires, pipes, and irrigation parts. Contractor will repair damaged irrigation lines at the Customer's expense.
17. **Waiver of Liability:** Requests for crown thinning in excess of twenty-five percent (25%) or work not in accordance with ISA (International Society of Arboricultural) standards will require a signed waiver of liability.

### Acceptance of this Contract

By executing this document, Customer agrees to the formation of a binding contract and to the terms and conditions set forth herein. Customer represents that Contractor is authorized to perform the work stated on the face of this Contract. If payment has not been received by Contractor per payment terms hereunder, Contractor shall be entitled to all costs of collection, including reasonable attorneys' fees and it shall be relieved of any obligation to continue performance under this or any other Contract with Customer. Interest at a per annum rate of 1.5% per month (18% per year), or the highest rate permitted by law, may be charged on unpaid balance 15 days after billing.

**NOTICE: FAILURE TO MAKE PAYMENT WHEN DUE FOR COMPLETED WORK ON CONSTRUCTION JOBS, MAY RESULT IN A MECHANIC'S LIEN ON THE TITLE TO YOUR PROPERTY**

### Customer

Signature	Title
<b>Angel Camacho</b>	<b>Alvarez Engineers</b>
Printed Name	Date
<b>Angel Camacho</b>	<b>November 03, 2023</b>

### BrightView Landscape Services, Inc. "Contractor"

Signature	Title
<b>Shannon Denouden</b>	<b>Account Manager Exterior</b>
Printed Name	Date
<b>Shannon Denouden</b>	<b>November 03, 2023</b>

<b>Job #:</b>	<b>353800000</b>		
<b>SO #:</b>	<b>8198788</b>	<b>Proposed Price:</b>	<b>\$18,875.08</b>

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**3 E**

**From:** [Daniel Rom](#)  
**To:** [Daphne Gillyard](#); [Gianna Denofrio](#)  
**Subject:** FW: Landmark Drainage Maintenance Plan  
**Date:** Friday, October 27, 2023 9:14:09 AM  
**Attachments:** [image001.png](#)  
[00- Landmark at Doral CDD- Drainage Maintenance- Set.pdf](#)

---

Back up for 11/15 meeting. Please insert the below email from Juan as a cover letter to the attached plans.

Thanks,

**Daniel Rom**  
**District Manager**  
**Wrathell, Hunt and Associates, LLC**  
**Phone: 561.571.0010**  
**Toll Free: 877.276.0889**  
**Fax: 561.571.0013**  
**Cell: 561.909.7930**  
**E-Mail: [romd@whhassociates.com](mailto:romd@whhassociates.com)**

**Mailing Address (for all payments sent via US Mail):**  
**P.O. Box 810036**  
**Boca Raton, FL 33481**

**Physical Address (for all payments sent via express services):**  
**2300 Glades Road, Suite 410W**  
**Boca Raton, FL 33431**

---

**From:** Juan R. Alvarez <[Juan.Alvarez@AlvarezEng.com](mailto:Juan.Alvarez@AlvarezEng.com)>  
**Sent:** Friday, September 29, 2023 9:56 AM  
**To:** Daniel Rom <[romd@whhassociates.com](mailto:romd@whhassociates.com)>  
**Subject:** Landmark Drainage Maintenance Plan

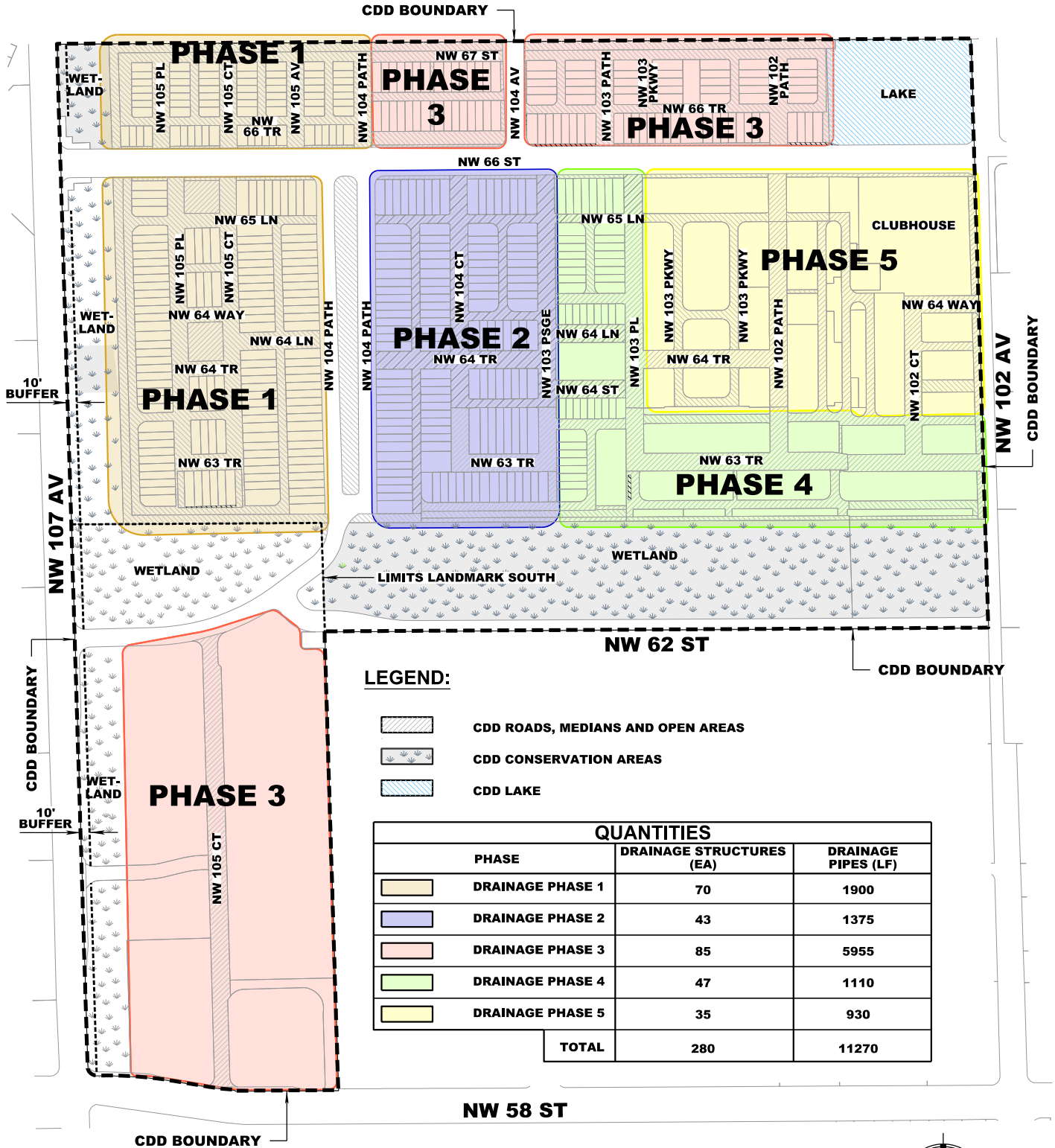
Hi Daniel:

As discussed, the attached set of plans (24 pages), illustrate the 5-year drainage plan consisting of five phases, one phase per year, starting with the oldest drainage structures located in Phase 1, following with Phase 2 and so on...

Let me know what you think so that we may start pricing Phase 1, and perhaps a vendor may be interested in entering into a 5-year agreement, hedging like that some of the inflationary effects.



**Juan R. Alvarez, P.E.**

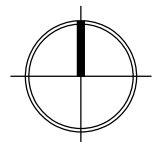


# ALVAREZ ENGINEERS, INC.

LANDMARK AT DORAL CDD

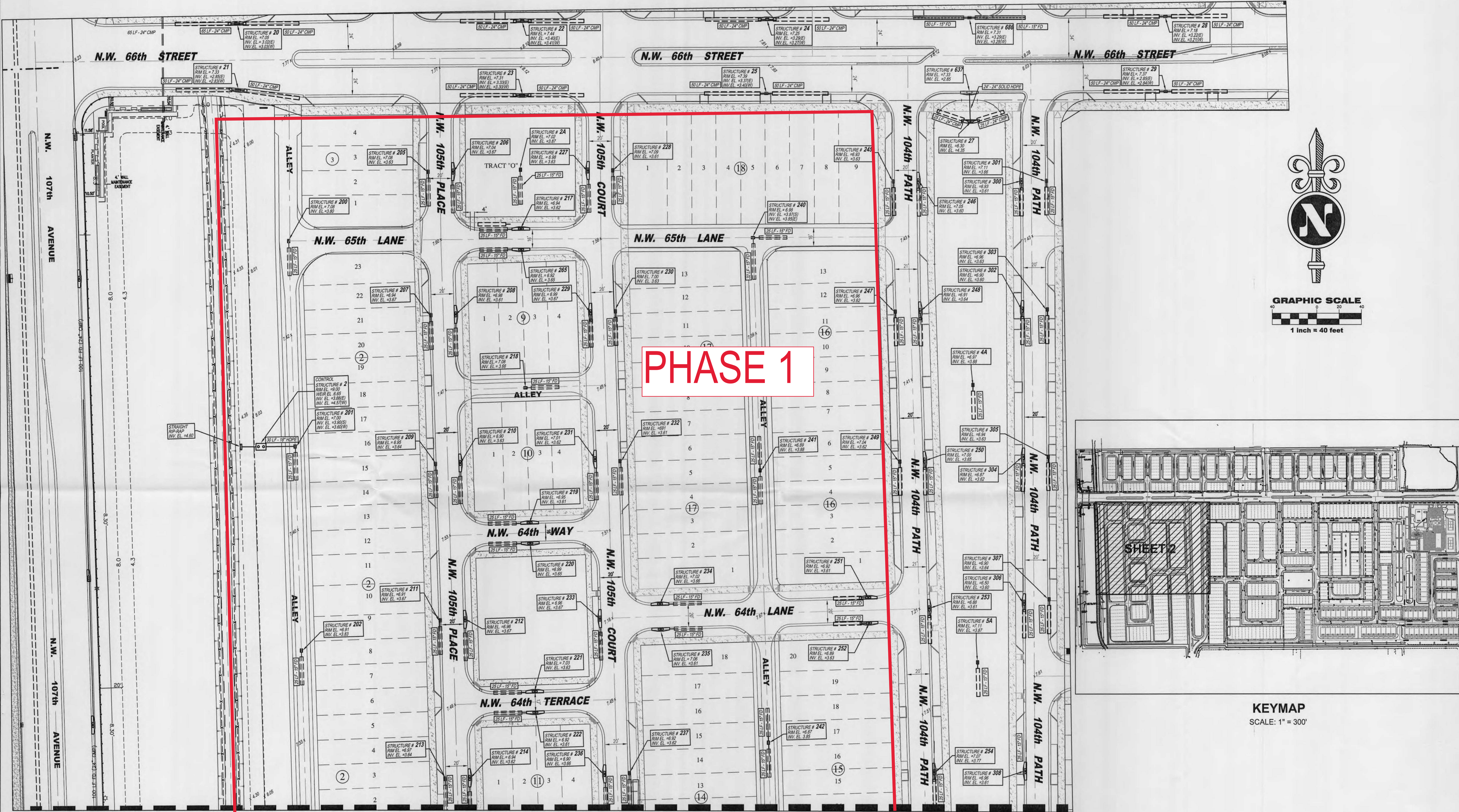
## LANDMARK AT DORAL - DRAINAGE MAINTENANCE PHASING

EXHIBIT 1

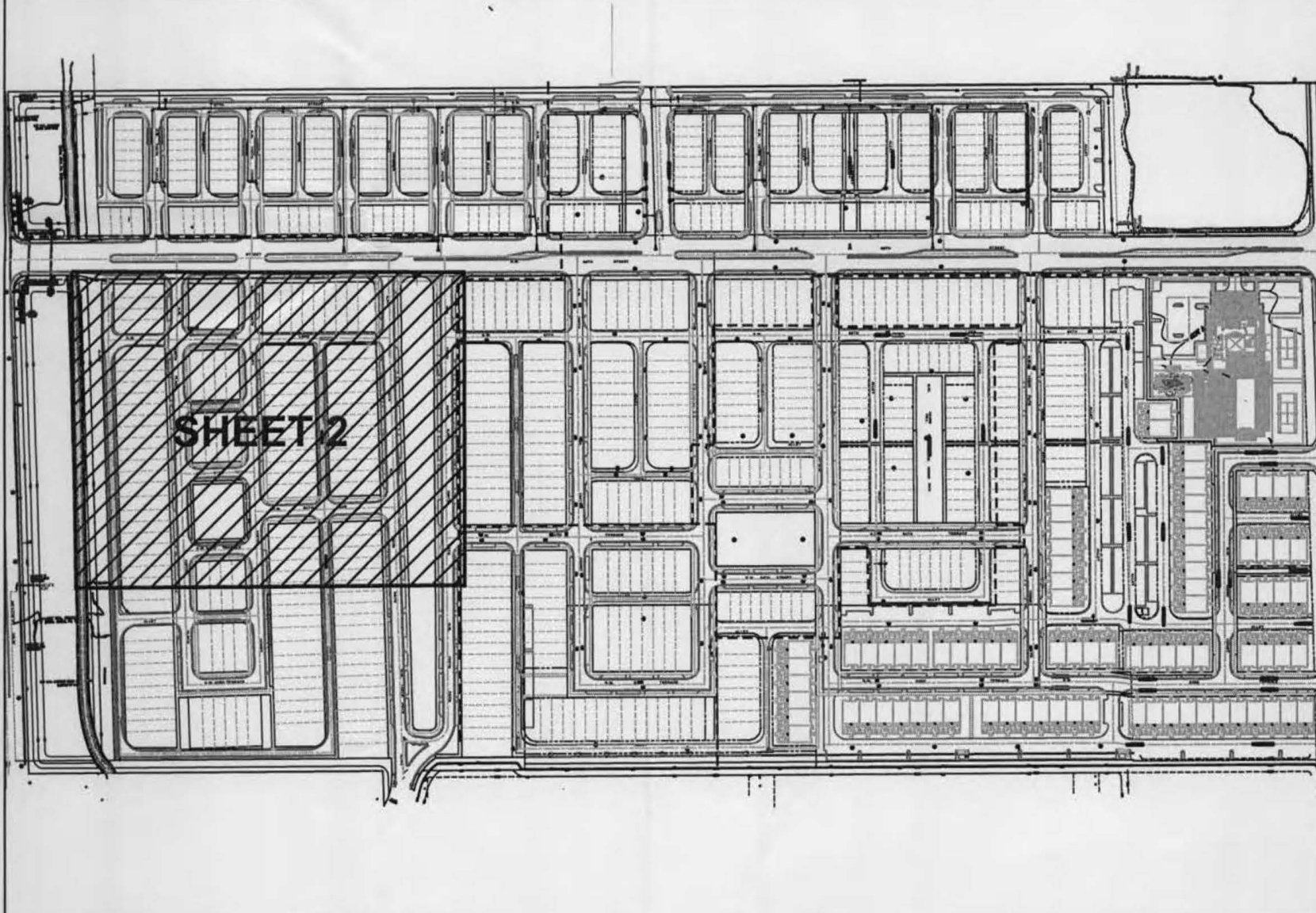




**PHASE 1**



**PHASE 1**



**KEYMAP**  
SCALE: 1" = 300'

MATCH LINE - FOR CONTINUATION SEE SHEET 3 of 3



COUNTY-WIDE LAND SURVEYORS, INC.  
LAND SURVEYORS - PLANNERS  
MIAMI, FLORIDA 33186  
14241 S.W. 143 COURT  
PH: 305.232.2340  
FX: 305.232.5386

**LANDMARK AT DORAL PHASE 1**  
MIAMI-DADE, FLORIDA

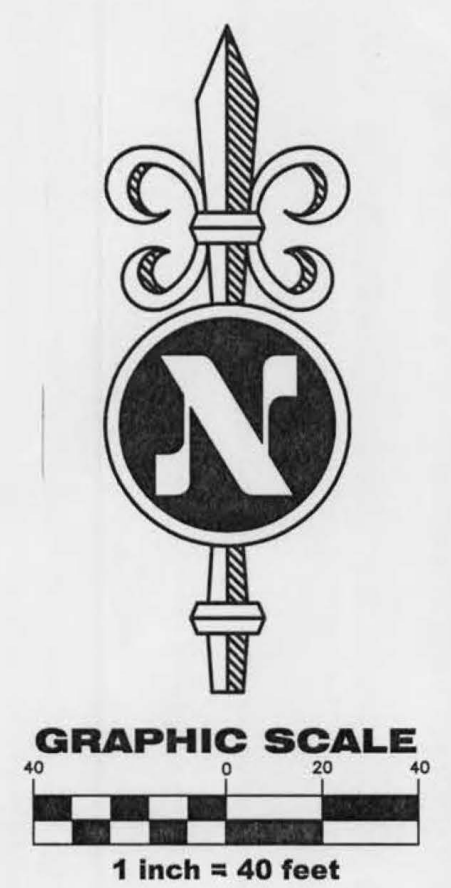
DATE	REVISION COMMENTS	BY	APP

PROJECT TYPE: DRAINAGE AS-BUILT PLAN  
PROJECT LOC: NW 107th AVENUE & NW 66th STREET  
SECTION: SECTION 17, TWP. 53S, RGE. 40E

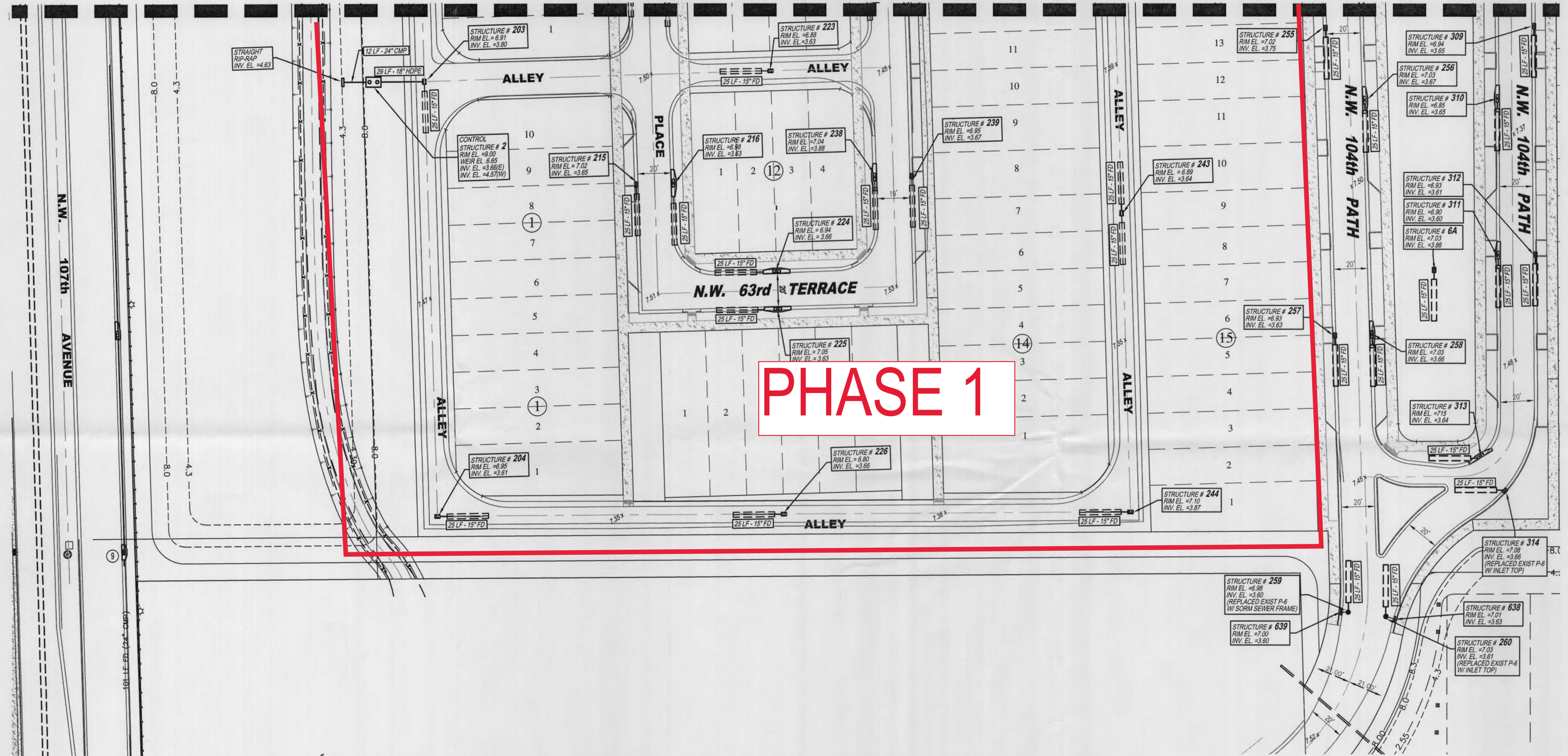
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APR 10 2018  
SFWMD REGULATION

BY: JOSEPH L. MARTIN  
PROFESSIONAL SURVEYOR  
& MAPPER - PSBM# 4368  
STATE OF FLORIDA

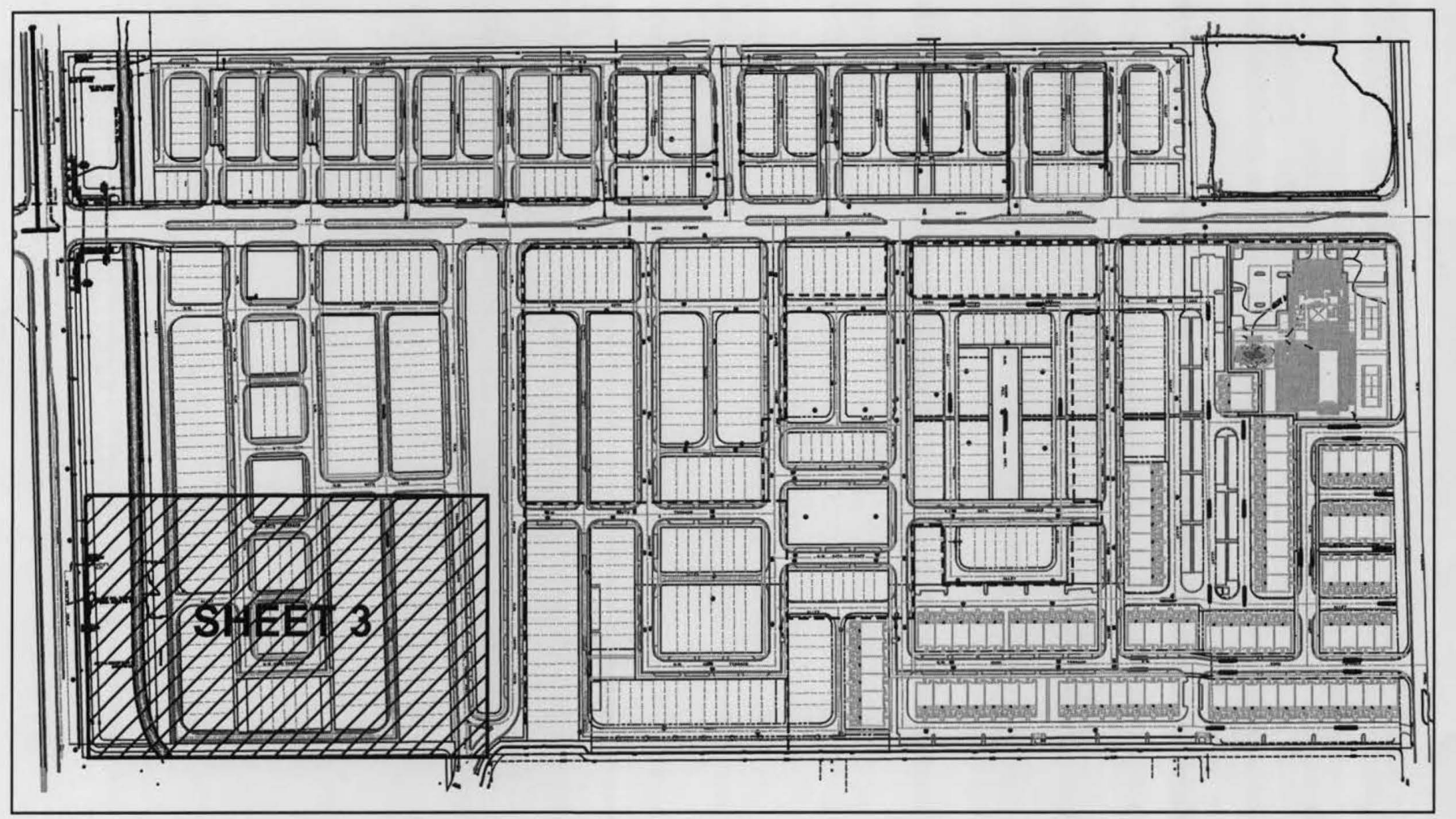
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SURVEYOR: COUNTY-WIDE  
DRAWN BY: O.G.  
CHECKED BY: G.B.  
AS-BUILT: DRAINAGE  
DATE: 12/19/17  
DRE PROJECT No: 2016-043  
SHEET No: 2 of 3



MATCH LINE - FOR CONTINUATION SEE SHEET 2 of 3



**PHASE 1**



**KEYMAP**  
SCALE: 1" = 300'

**LANDMARK AT DORAL - PHASE 1**  
MIAMI-DADE, FLORIDA

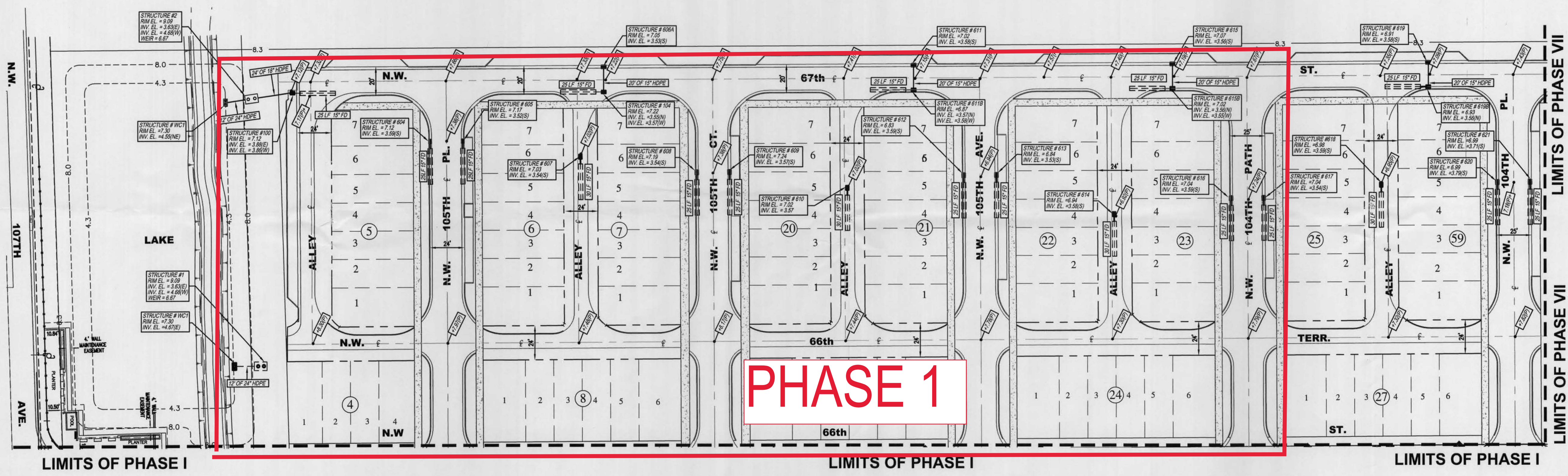
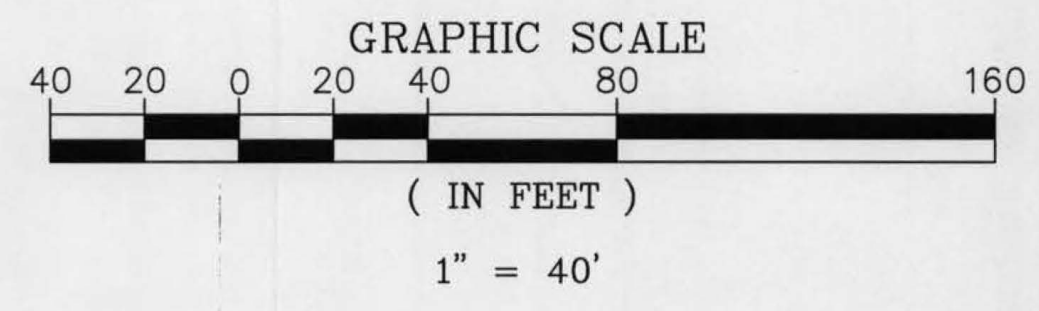
**DRAINAGE AS-BUILT PLAN**  
NW 107th Avenue & NW 68th Street  
SECTION 17, TWP. 53S, RGE. 40E

DATE	REVISION COMMENTS	BY	APP

RECEIVED  
APR 10 2018  
SFWMD REGULATION



SCALE:	AS SHOWN
SURVEYOR:	COUNTY-WIDE
DRAWN BY:	O.G.
CHECKED BY:	G.B.
AS-BUILT:	DRAINAGE
DATE:	12 / 19 / 17
DRE PROJECT No:	2016-043
SHEET No:	3 of 3



**LANDMARK AT DORAL PHASE II**  
MIAMI-DADE, FLORIDA

BY: APP	REVISION COMMENTS	DATE
D.P. O.G.	REVISED PER COMMENTS ENGINEER	4/14/18

DRAINAGE AS-BUILT PLAN  
W. 104th ST. - NW 158th ST.  
SECTION 17, TWP. 53S, RGE. 40E

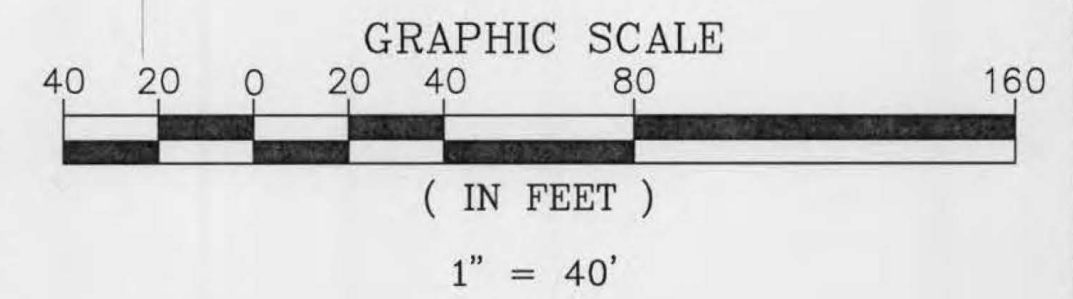
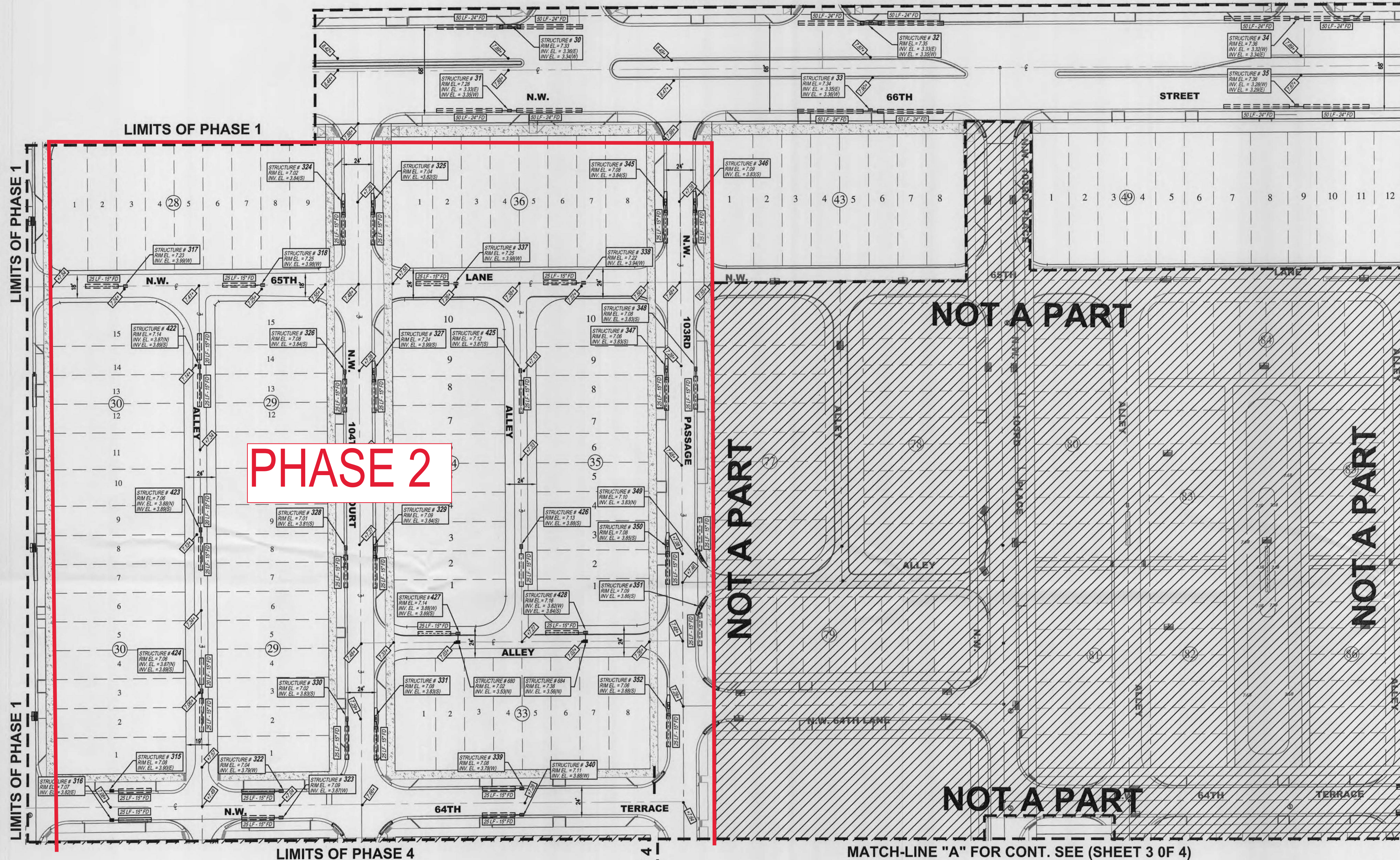
RECEIVED  
APR 10 2018  
SFWMD REGULATION



SCALE:	AS SHOWN
SURVEYOR:	COUNTY-WIDE
DRAWN BY:	DEXTER
CHECKED BY:	O.G.
AS-BUILT:	DRAINAGE
DATE:	3/7/18
DRE PROJECT No:	2016-043
SHEET No:	2 of 2

# PHASE 2

NOT INCLUDED IN LANDMARK AT DORAL CENTRAL PHASE VI



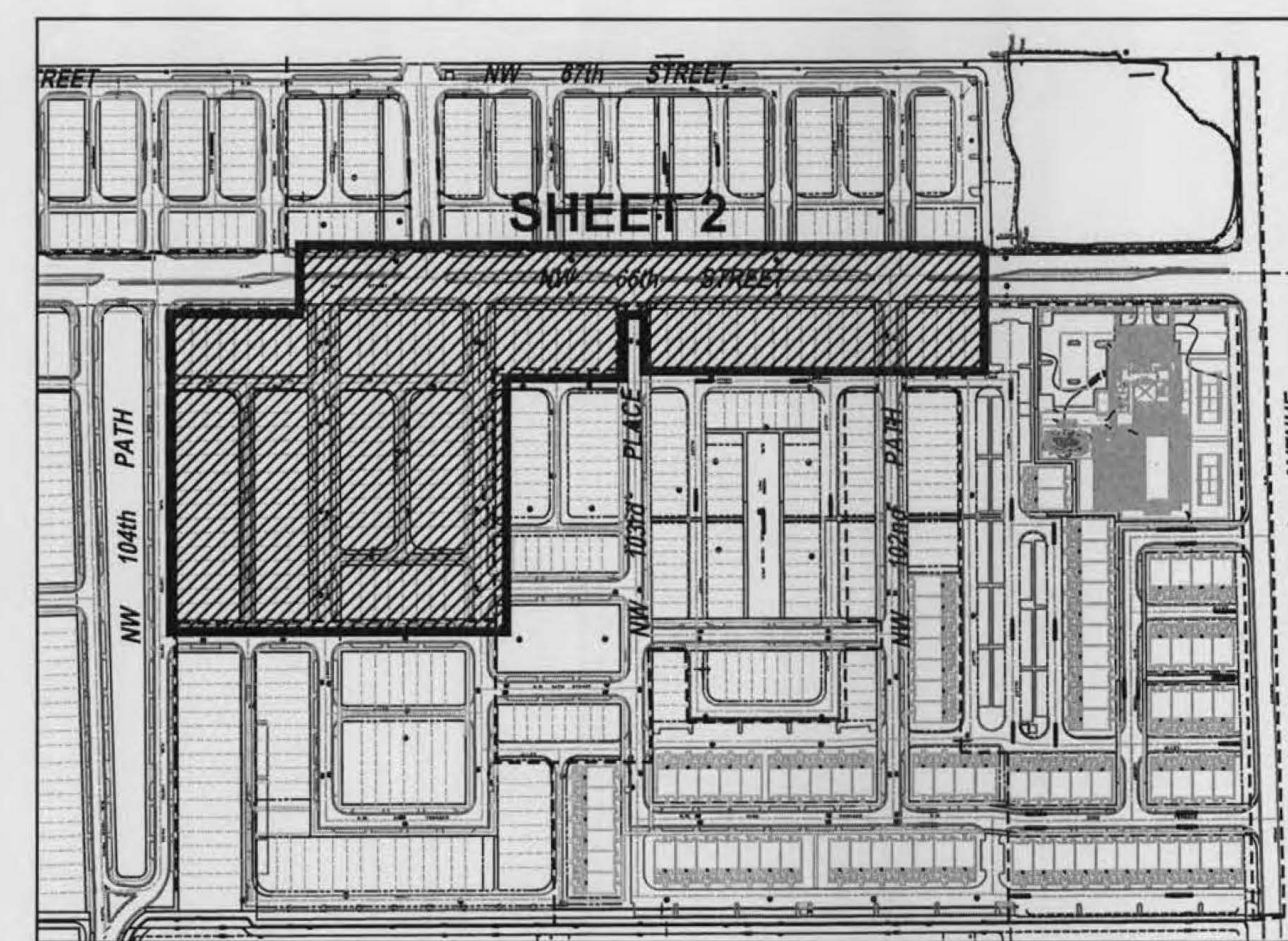
COUNTY-WIDE LAND SURVEYORS, INC.  
LAND SURVEYORS - PLANNERS  
MIAMI, FLORIDA 33166  
14247 S.W. 143 COURT  
PH: 305.232.2340  
FX: 305.232.5306

**LANDMARK AT DORAL PHASE III**  
MIAMI-DADE, FLORIDA

PROJ. TYPE: DRAINAGE AS-BUILT PLAN  
PROJ. LOC.: W. 104th ST. - NW 158th ST.  
SECTION: SECTION 17, TWP. 53S, RGE. 40E

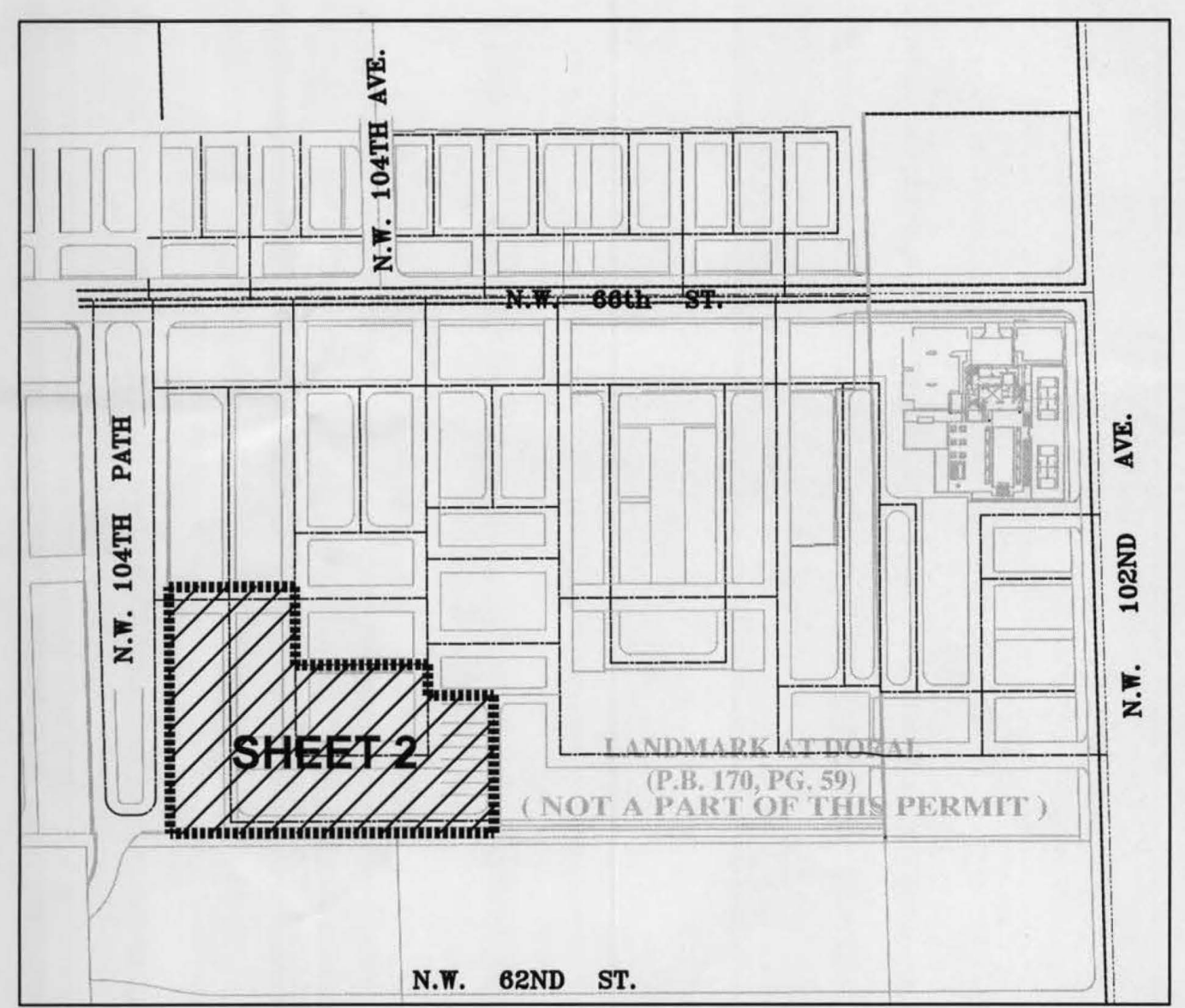
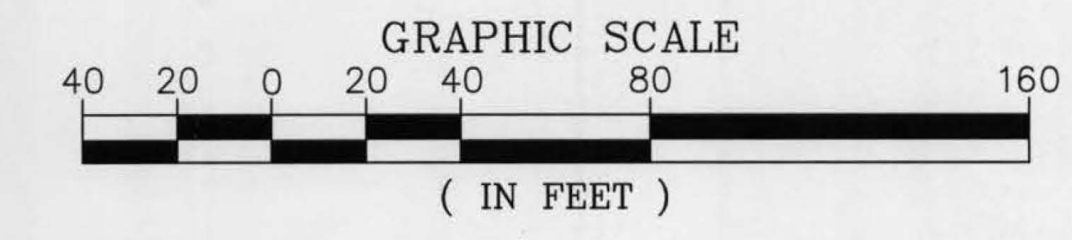
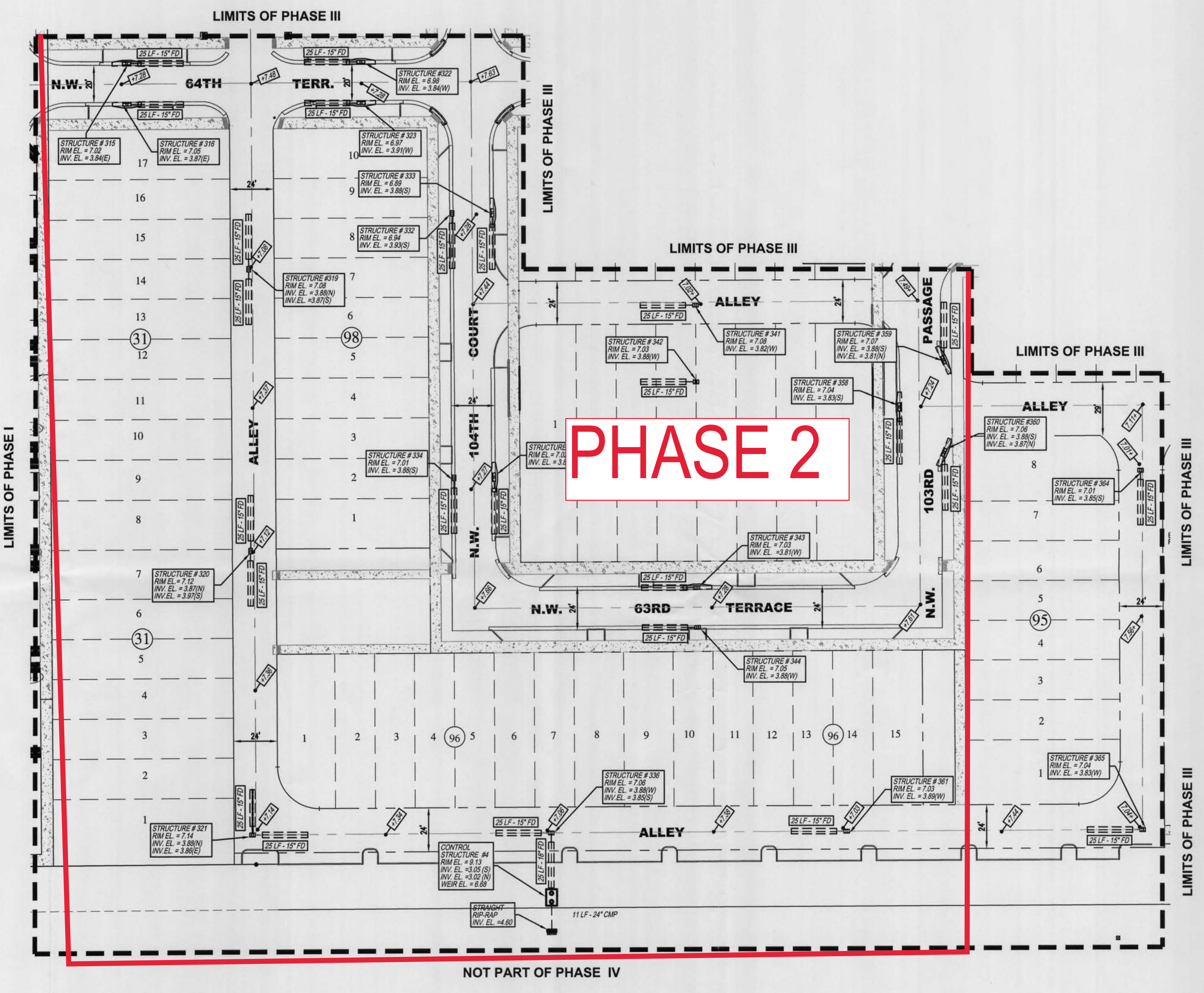
SCALE: AS SHOWN  
SURVEYOR: COUNTY-WIDE  
DRAWN BY: DEXTER  
CHECKED BY: O.G.  
AS-BUILT: DRAINAGE  
DATE: 3/13/18  
DRE PROJECT No.: 2016-043

SHEET No.: 2 of 4



RECEIVED  
APR 10 2018  
SFWMD REGULATION

By: [Signature]  
JOSEPH L. MARTIN  
PROFESSIONAL SURVEYOR  
& MAPPER PSM# 4368  
STATE OF FLORIDA



KEYMAP  
SCALE: 1" = 300'

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APR 10 2018  
SFWMD REGULATION



SCALE:	AS SHOWN
SURVEYOR:	COUNTY-WIDE
DRAWN BY:	DEXTER
CHECKED BY:	O.G.
AS-BUILT:	DRAINAGE
DATE:	3 / 9 / 18
DRE PROJECT No:	2016-043
SHEET No:	2 of 2

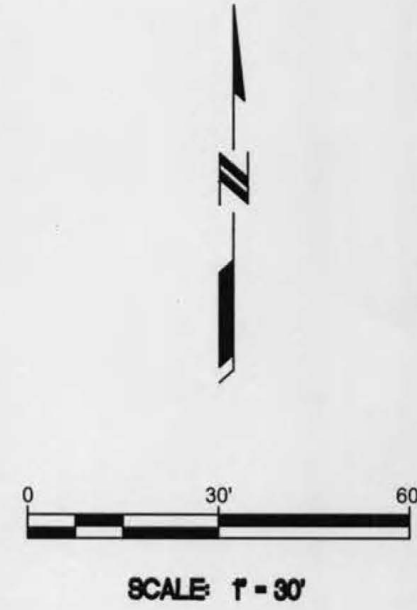
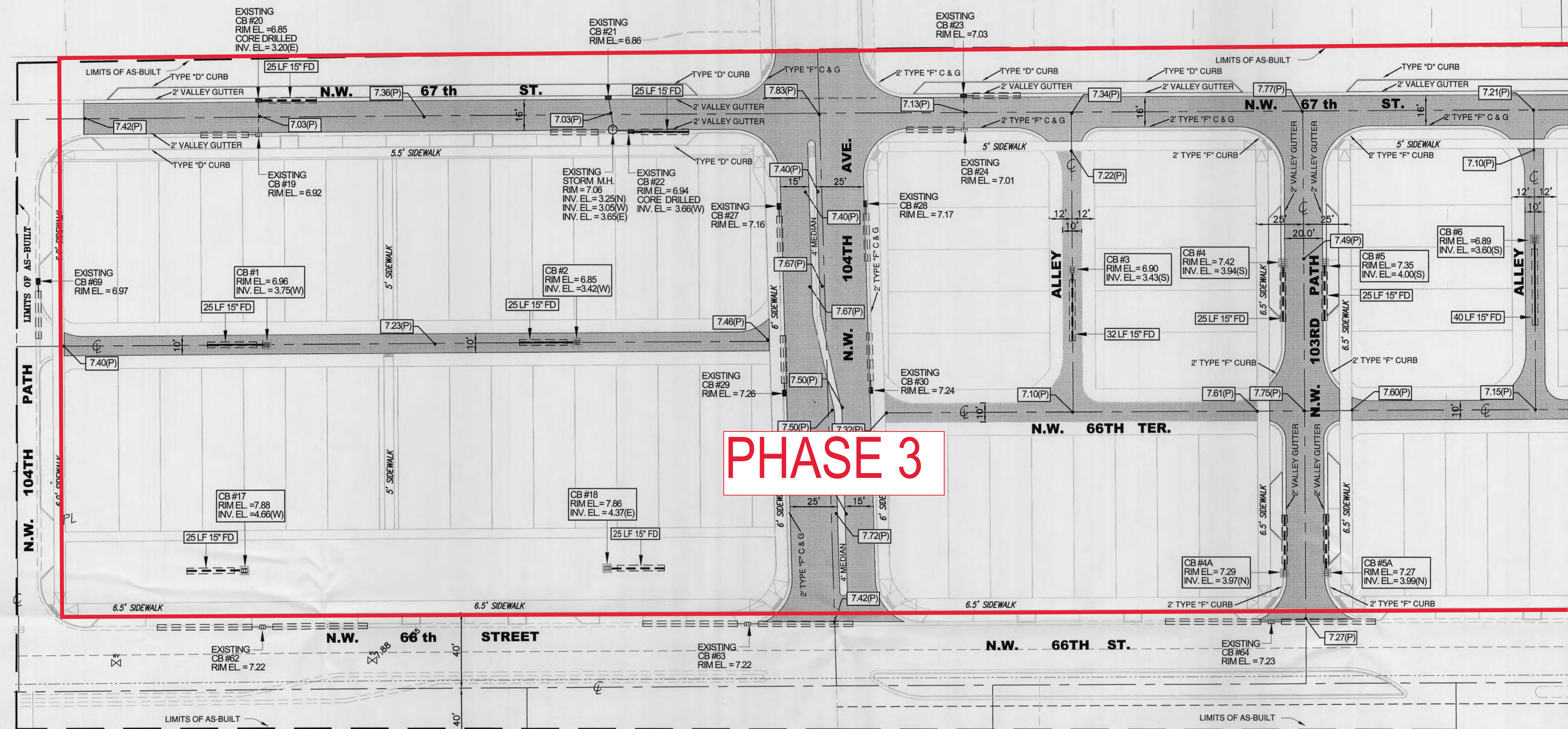
LANDMARK AT DORAL PHASE IV  
MIAMI-DADE, FLORIDA

DRAINAGE AS-BUILT PLAN  
W. 104th ST. - NW 158th ST.  
SECTION 17, TWP. 53S, RGE. 40E

DATE	REVISION COMMENTS	BY	APP

**PHASE 3**

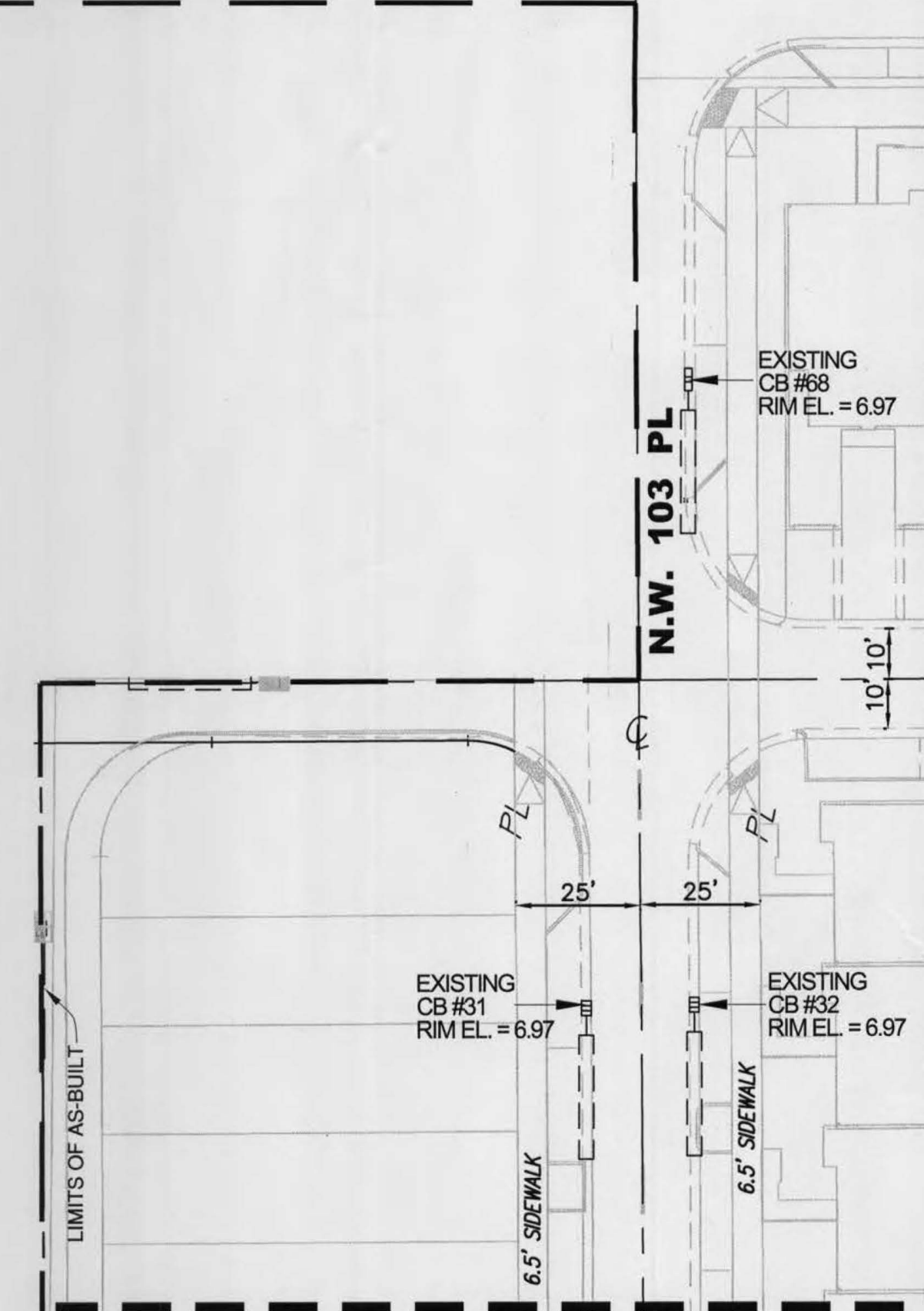




**PHASE 3**



**KEYMAP**  
SCALE: 1"=300'



MATCHLINE - FOR CONT. SEE SHEET 3 OF 4

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APR 10 2018  
SFWMD REGULATION

BY: JOSEPH L. MARTIN  
PROFESSIONAL SURVEYOR & MAPPER  
PSM# 4388  
STATE OF FLORIDA

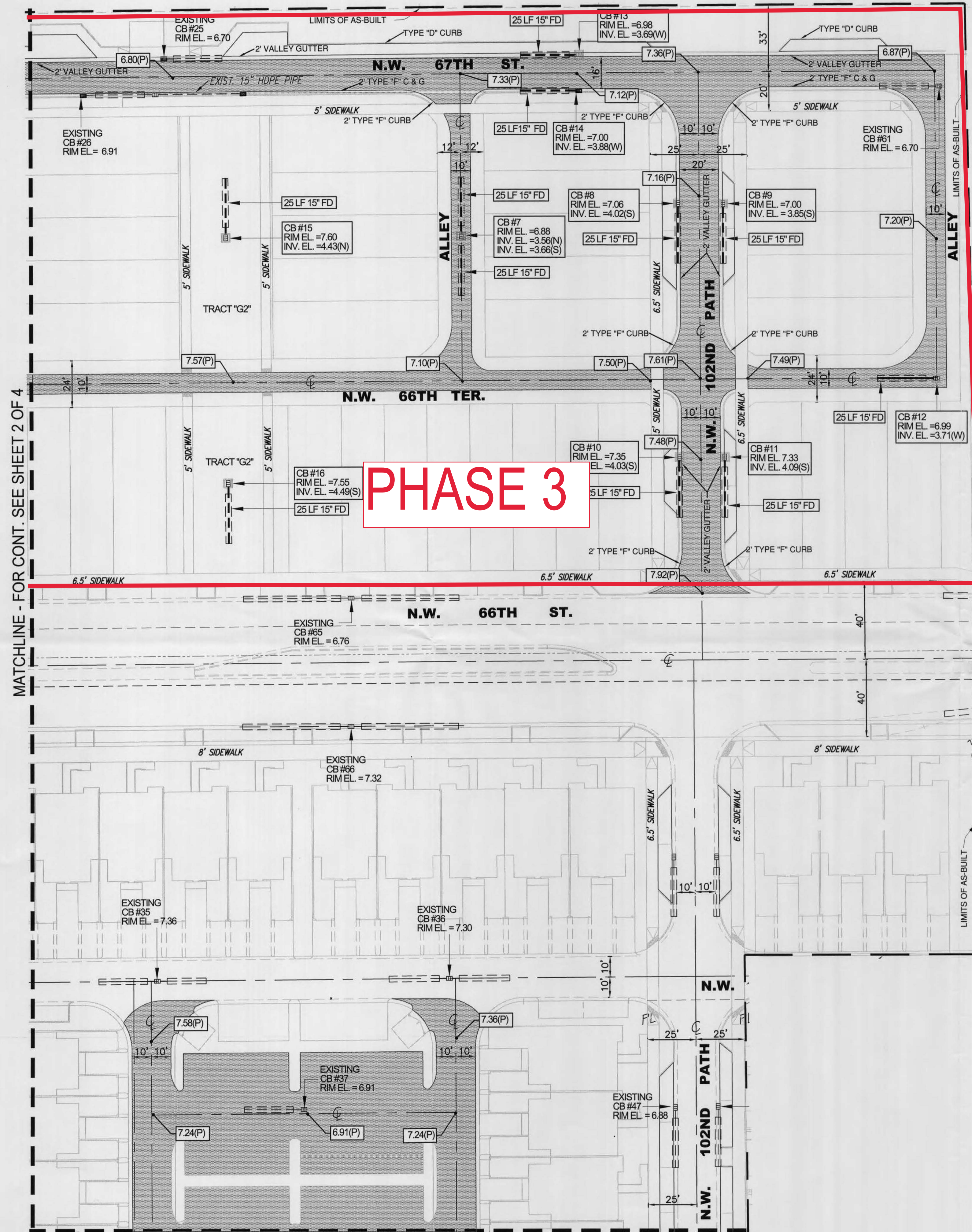
COUNTY-WIDE LAND SURVEYORS, INC.  
LAND SURVEYORS - PLANNERS  
MIAMI, FLORIDA 33186  
14241 S.W. 143 COURT  
PH: 305.232.2340  
FX: 305.232.5386

**LANDMARK AT DORAL CENTRAL**  
MIAMI-DADE, FLORIDA

PROJECT TYPE	AS SHOWN
SURVEYOR	COUNTY-WIDE
DRAWN BY:	DEXTER
CHECKED BY:	O.G.
AS-BUILT:	PAVING & DRAINAGE
DATE:	3 / 16 / 18
DRE PROJECT No:	2016-043
SHEET No:	2 of 4

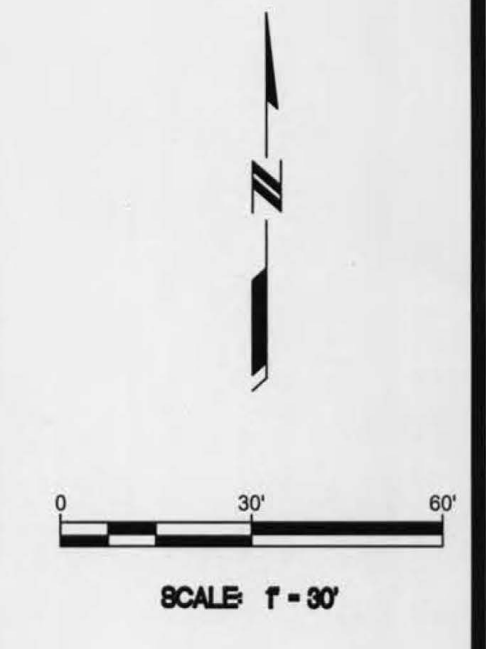
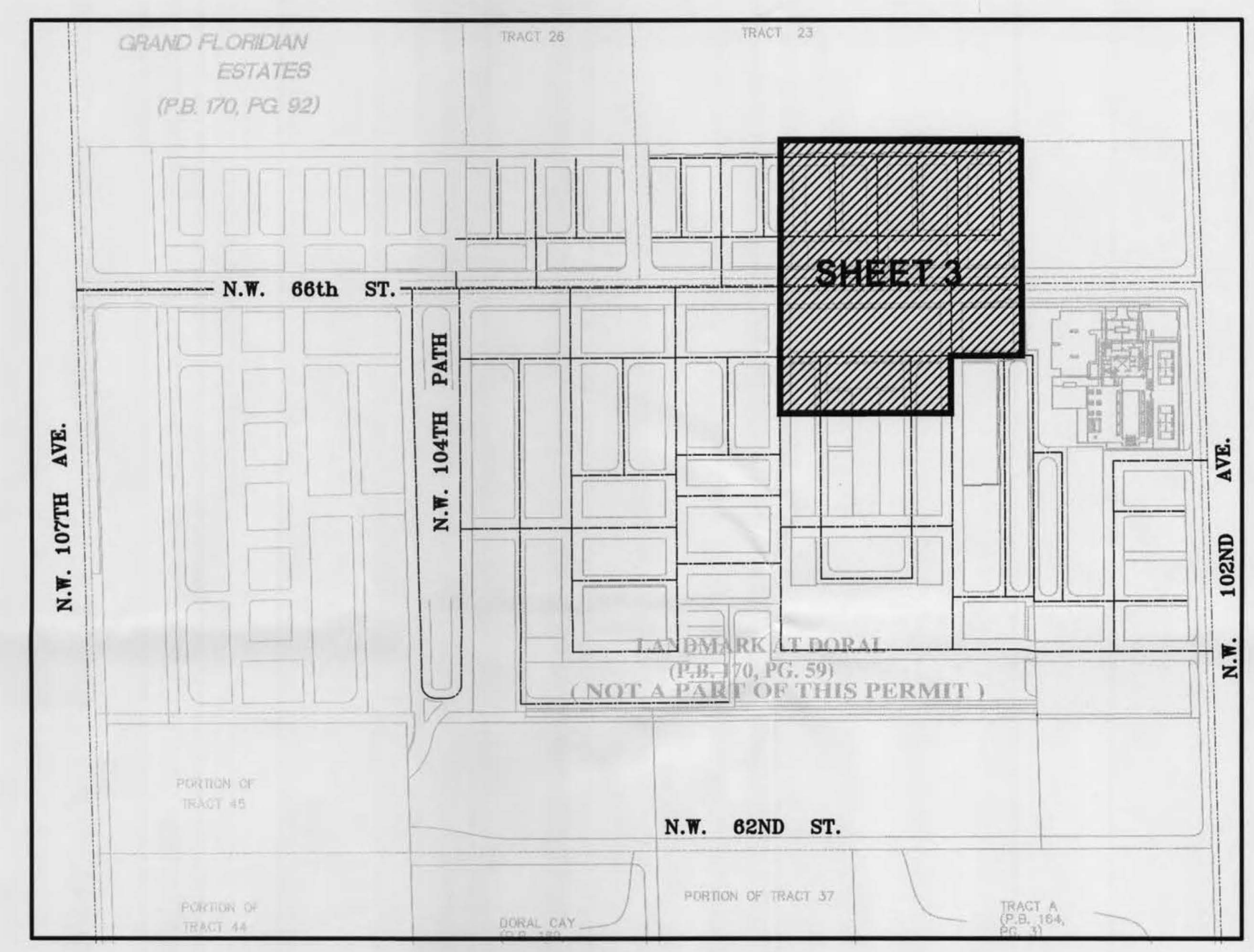
DRAINAGE AS-BUILT plan  
W. 104th ST. - NW 158th ST.  
SECTION 17, TWP. 53S, RGE. 40E

REVISION COMMENTS	BY / APP
REVISED PER COMMENTS ENGINEER	D.P. O.G.
DATE	4 / 4 / 18



MATCHLINE - FOR CONT. SEE SHEET 2 OF 4

MATCHLINE - FOR CONT. SEE SHEET 4 OF 4



**COUNTY-WIDE LAND SURVEYORS, INC.**  
 LAND SURVEYORS - PLANNERS  
 14241 S.W. 143 COURT  
 MIAMI, FLORIDA 33186  
 PH: 305.232.2340  
 FX: 305.232.5386

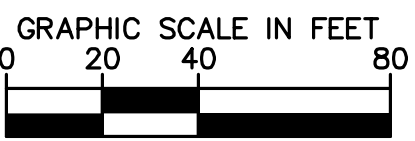
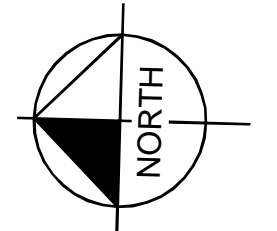
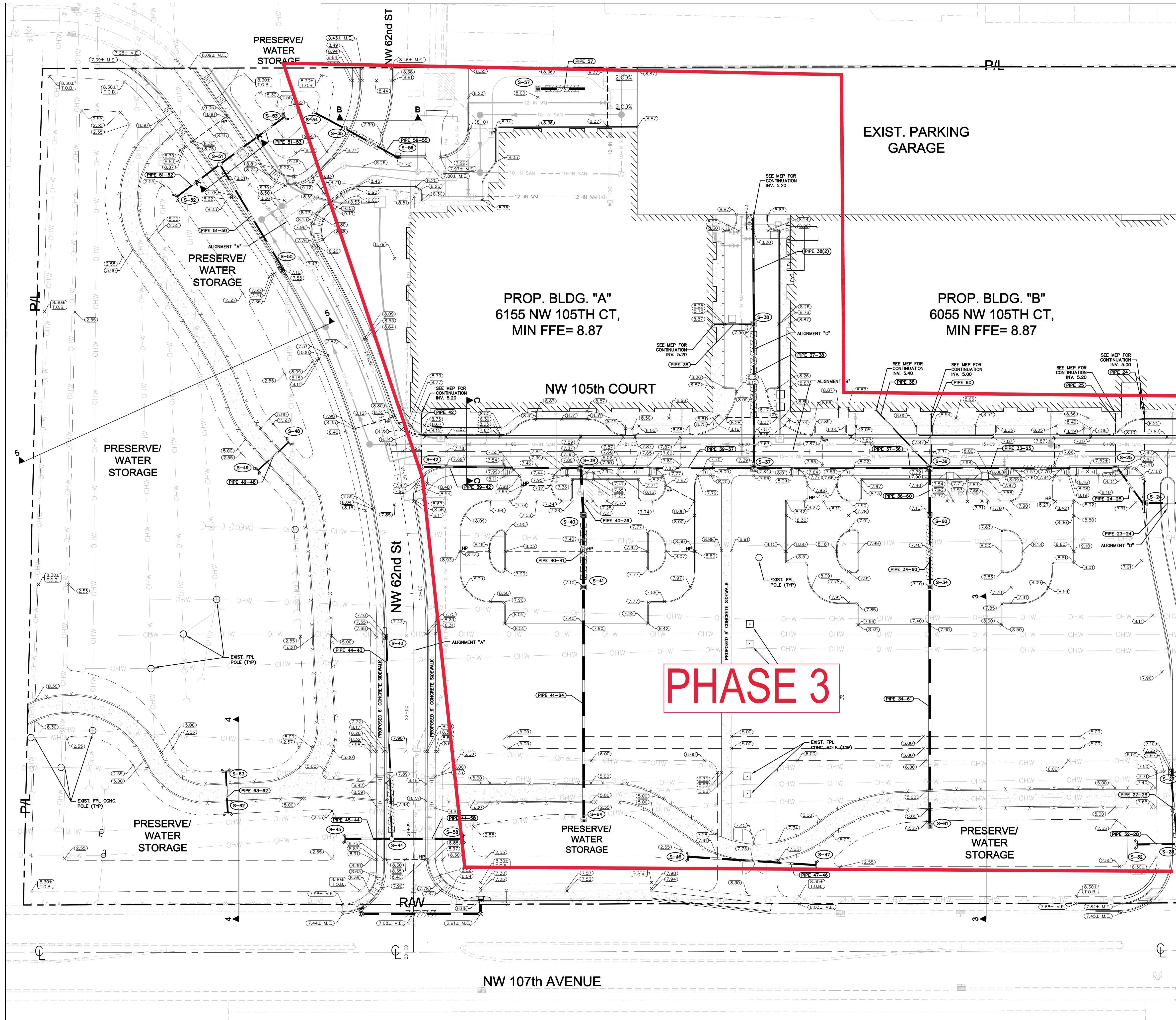
**LANDMARK AT DORAL CENTRAL**  
 MIAMI-DADE, FLORIDA

BY / APP	
D.P. / O.G.	
REVISION COMMENTS	
REVISED PER COMMENTS ENGINEER	
DATE	4 / 4 / 18
PROJECT NAME	PAVING & DRAINAGE AS-BUILT PLAN
PROJECT LOCATION	W. 104th ST. - NW 158th ST.
SECTION	SECTION 17, TWP. 53S, RGE. 40E
SCALE	AS SHOWN
SURVEYOR	COUNTY-WIDE
DRAWN BY:	DEXTER
CHECKED BY:	O.G.
AS-BUILT:	PAVING & DRAINAGE
DATE:	3 / 16 / 18
DRE PROJECT No:	2016-043
SHEET No:	3 of 4

**RECEIVED**  
 APR 10 2018  
 SFWMD REGULATION

BY: **JOSEPH L. MARTIN**  
 PROFESSIONAL SURVEYOR  
 & MAPPER - PSM# 4368  
 STATE OF FLORIDA

Plotting By: Rubins, Todd. Sheet: S-301. PAVING GRADING AND DRAINAGE PLAN. August 03, 2015. 09:29:25am. \\NAFPD\DATA\Projects\150605-10\150605-10\_PAVING GRADING AND DRAINAGE PLAN.dwg. This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared and no other use or application without written authorization and adaptation by Kimley-Horn and Associates, Inc.



**LEGEND:**

- RAW --- P --- RIGHT-OF-WAY OR PROPERTY LINE
- CL --- CENTER LINE OF ROADWAY
- /// PROPOSED BUILDING
- - - X-IN SAN - - - EXISTING SAN. SEWER
- - - X-IN WM - - - EXISTING WATER PIPE
- - - X-IN STORM - - - EXISTING STORM SEWER
- - - EXISTING GAS PIPE
- - - COM - - - EXISTING COMMUNICATION LINE (FIBER OPTIC CABLE)
- - - OHW - - - EXISTING OVER HEAD WIRE
- - - T - - - EXISTING TELEPHONE LINE
- - - 8-IN SAN - - - PROPOSED SANITARY SEWER
- PROPOSED EXFILTRATION TRENCH
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED SPOT GRADE
- FLOW ARROW

**NOTE:**

1. REFER TO SHEET C-307 FOR PIPE AND STRUCTURE INFORMATION TABLE.

DRAINAGE DESIGN (NGVD):	
FLOOD ZONE	AH
BASE FLOOD ELEVATION	5.00
FIRM PANEL	12086C0278L
MIAMI DADE COUNTY OCTOBER WATER TABLE ELEVATION	3.80
MIAMI DADE COUNTY FLOOD CRITERIA ELEVATION	7.25 (+ 8" = 7.92)
HIGHEST ADJACENT CROWN (NW 105TH CT)	7.87 (+ 12" = 8.87)
PROPOSED MIN F.F. ELEVATION	8.87
PROPOSED MINIMUM INLET	7.10
CROWN OF ROAD - NW 58TH ST	8.44
CROWN OF ROAD - NW 62ND ST	8.34
CROWN OF ROAD - NW 107TH AVE	8.40
***GOVERNING STREET***	7.87

FOR CONTINUATION SEE SHEET C-302

LANDMARK SOUTH  
PREPARED FOR  
CONGRESS GROUP

**Kimley»Horn**

2015 KIMLEY-HORN AND ASSOCIATES, INC.  
1221 BRICKELL AVENUE, SUITE 400, MIAMI, FL 33131  
PHONE: 305-673-2025  
WWW.KIMLEY-HORN.COM

PERMIT SET

KHA PROJECT	DATE	DESIGNED BY	DRAWN BY	CHECKED BY	JC	DATE	BY
045609000	06/09/2015	JULIO A. COLLIER, P.E.	TWR	JC		08/03/15	
SCALE AS SHOWN		FLORIDA LICENSE NUMBER 72459					

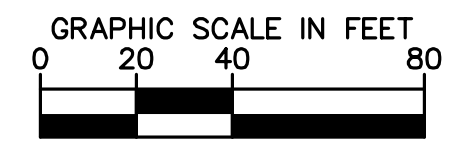
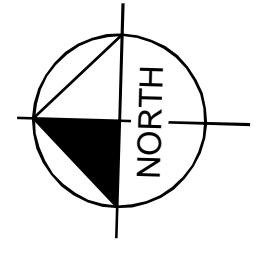
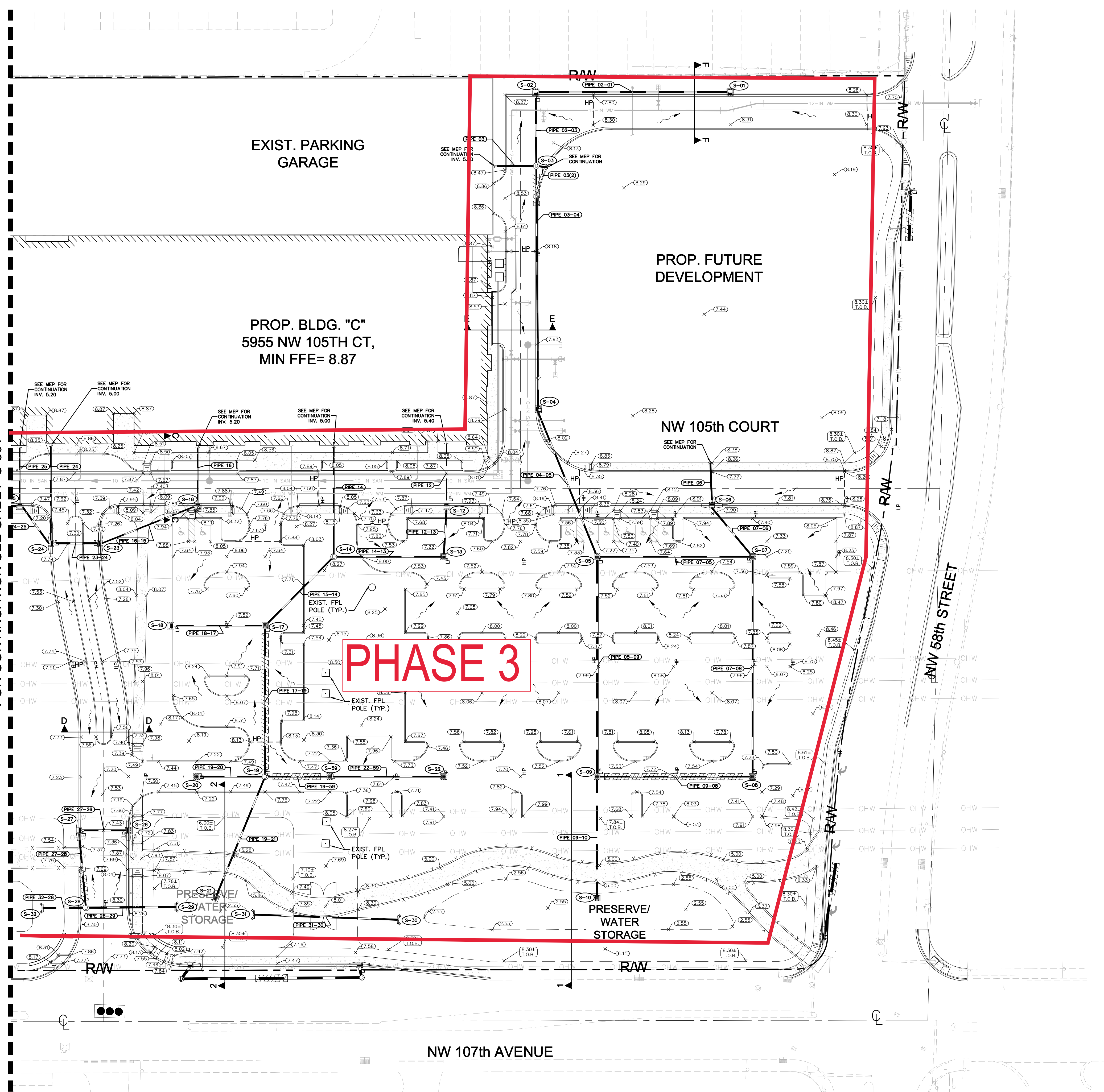
Always call 811 two full business days before you dig

DORAL, FLORIDA

SHEET NUMBER  
**C-301**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Release of and/or improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

FOR CONTINUATION SEE SHEET C-301



**LEGEND:**

- RIGHT-OF-WAY OR PROPERTY LINE
- CENTER LINE OF ROADWAY
- PROPOSED BUILDING
- EXISTING SAN. SEWER
- EXISTING WATER PIPE
- EXISTING STORM SEWER
- EXISTING GAS PIPE
- EXISTING COMMUNICATION LINE (FIBER OPTIC CABLE)
- EXISTING OVER HEAD WIRE
- EXISTING TELEPHONE LINE
- PROPOSED SANITARY SEWER
- PROPOSED EXFILTRATION TRENCH
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED SPOT GRADE
- FLOW ARROW

**NOTE:**

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DRAINAGE DESIGN (NGVD):	
FLOOD ZONE	AH
BASE FLOOD ELEVATION	5.00
FIRM PANEL	12086C0278L
MIAMI DADE COUNTY OCTOBER WATER TABLE ELEVATION	3.80
MIAMI DADE COUNTY FLOOD CRITERIA ELEVATION	7.25 (+ 8" = 7.92)
HIGHEST ADJACENT CROWN (NW 105TH CT)	7.87 (+ 12" = 8.87)
PROPOSED MIN F.F. ELEVATION	8.87
PROPOSED MINIMUM INLET	7.10
CROWN OF ROAD - NW 58TH ST	8.44
CROWN OF ROAD - NW 62ND ST	8.34
CROWN OF ROAD - NW 107TH AVE	8.40
***GOVERNING STREET***	
CROWN OF ROAD - NW 105TH CT	7.87

<b>Kimley»Horn</b>	LICENSED PROFESSIONAL JULIO A. COLLIER, P.E. FLORIDA LICENSE NUMBER 72459 DRAWN BY: TWR CHECKED BY: JC DATE: 08/03/15	KHA PROJECT 045609000 DATE 06/09/2015 SCALE AS SHOWN DESIGNED BY TWR DRAWN BY TWR CHECKED BY JC DATE 08/03/15
<b>LANDMARK SOUTH</b> PREPARED FOR <b>CONGRESS GROUP</b>		PERMIT SET FLORIDA
<b>PAVING GRADING AND DRAINAGE PLAN</b>		SHEET NUMBER <b>C-302</b>
LANDMARK SOUTH		REVISIONS No.   DATE   BY

Always call 811 two full business days before you dig. This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared and no other use or application without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

STRUCTURE TABLE with columns for STRUCTURE NAME and DETAILS. Includes structures S-01 through S-09.

STRUCTURE TABLE with columns for STRUCTURE NAME and DETAILS. Includes structures S-13 through S-24.

STRUCTURE TABLE with columns for STRUCTURE NAME and DETAILS. Includes structures S-25 through S-37.

STRUCTURE TABLE with columns for STRUCTURE NAME and DETAILS. Includes structures S-38 through S-48.

STRUCTURE TABLE with columns for STRUCTURE NAME and DETAILS. Includes structures S-49 through S-60.

STRUCTURE TABLE with columns for STRUCTURE NAME and DETAILS. Includes structures S-62 and S-63.

OUTLET CONTROL STRUCTURE TABLE with columns for STRUCTURE NAME and DETAILS. Includes structures OCS-10 through OCS-64.

PIPE TABLE with columns for PIPE NAME and DESCRIPTION. Includes pipes 02-01 through 07-08.

PIPE TABLE with columns for PIPE NAME and DESCRIPTION. Includes pipes 09-10 through 18-17.

PIPE TABLE with columns for PIPE NAME and DESCRIPTION. Includes pipes 19-20 through 28-29.

PIPE TABLE with columns for PIPE NAME and DESCRIPTION. Includes pipes 31-30 through 39-37.

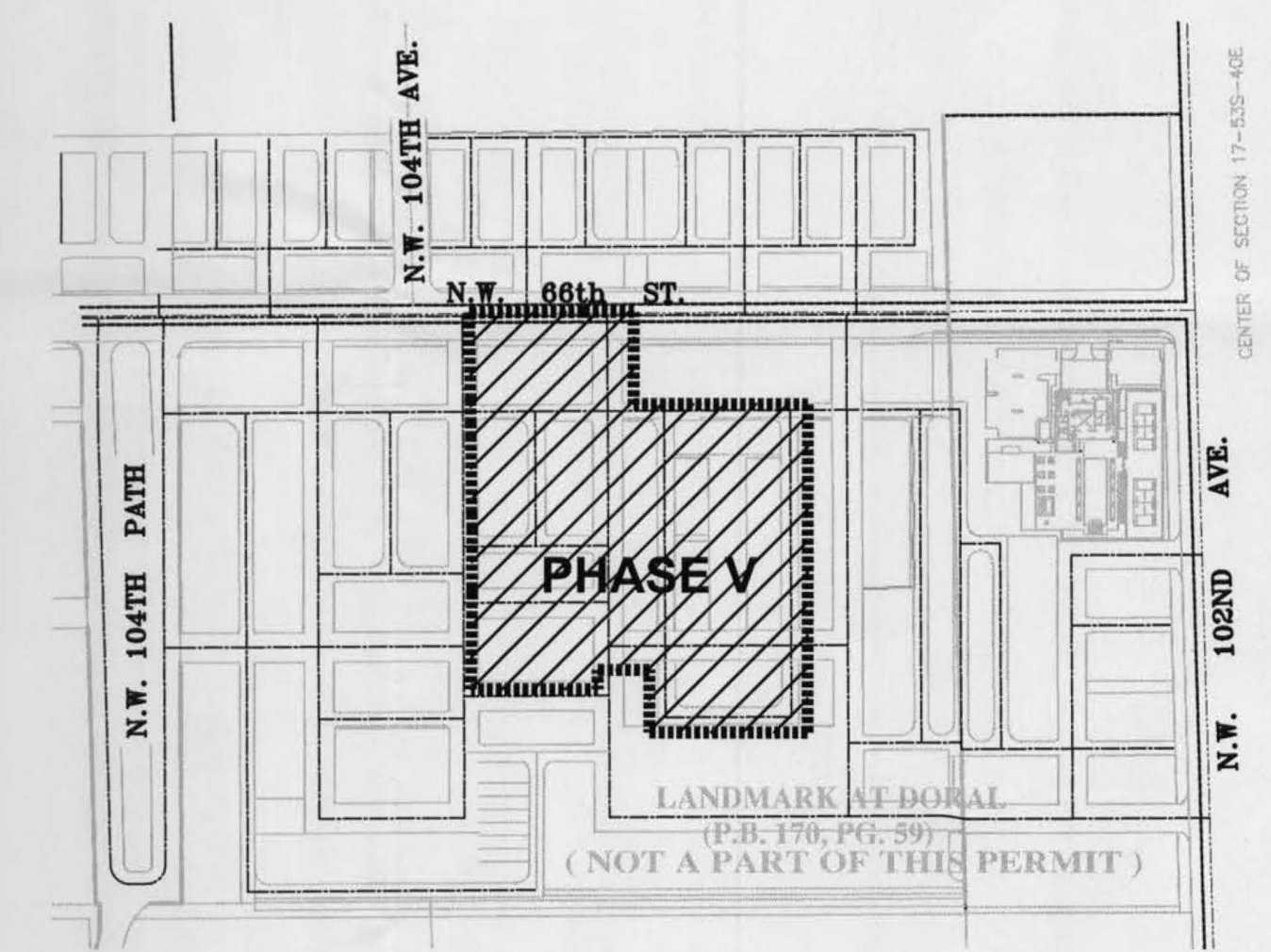
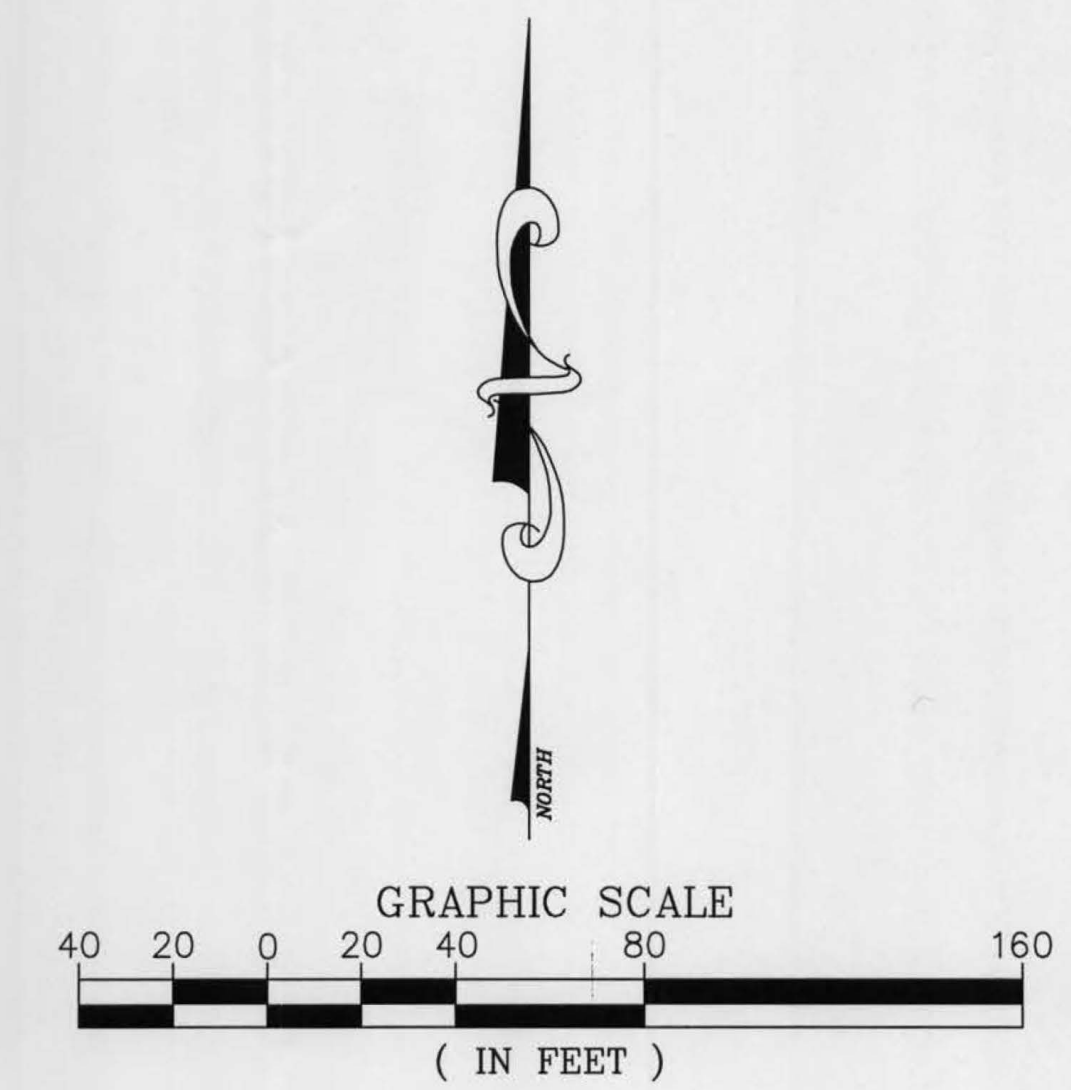
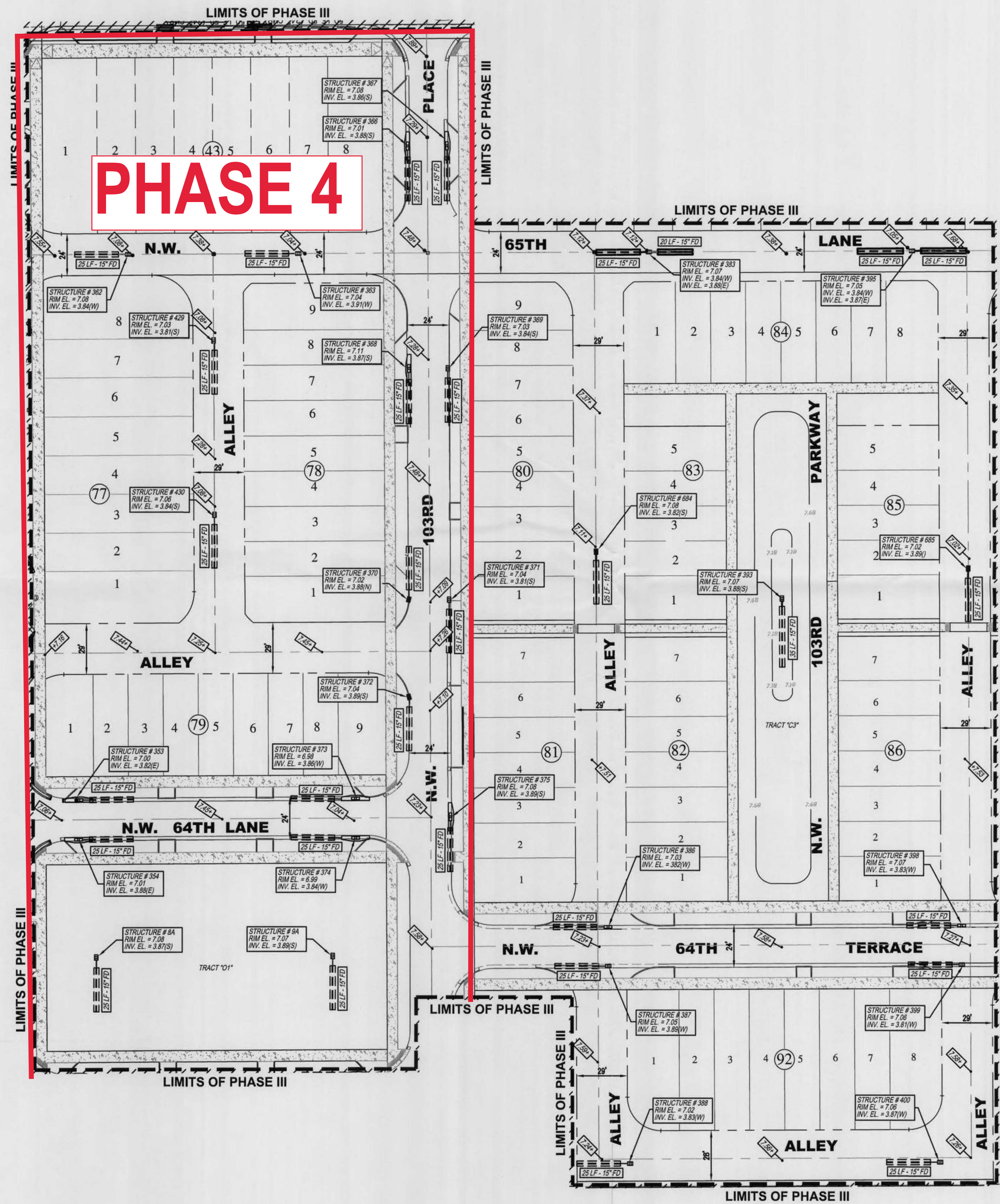
PIPE TABLE with columns for PIPE NAME and DESCRIPTION. Includes pipes 39-42 through 51-52.

PIPE TABLE with columns for PIPE NAME and DESCRIPTION. Includes pipes 51-53 through 63-62.

NON-STANDARD EXF. TRENCH and STANDARD EXF. TRENCH tables with columns for PIPE NAME and DESCRIPTION.

Project information including KHA PROJECT, DATE, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY, PERMIT SET, and logos for Kimley-Horn and Sunshine811.com.

**PHASE 4**



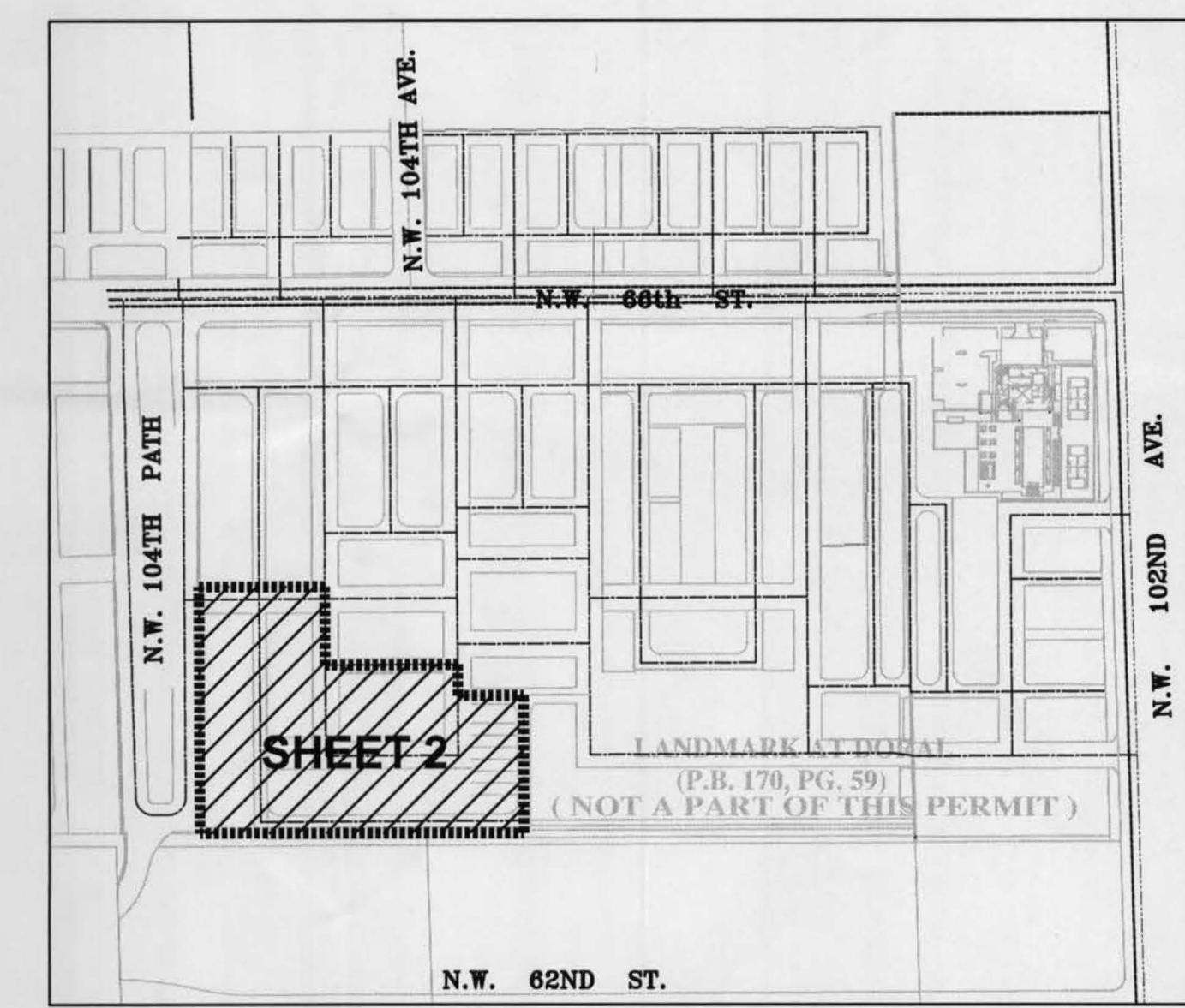
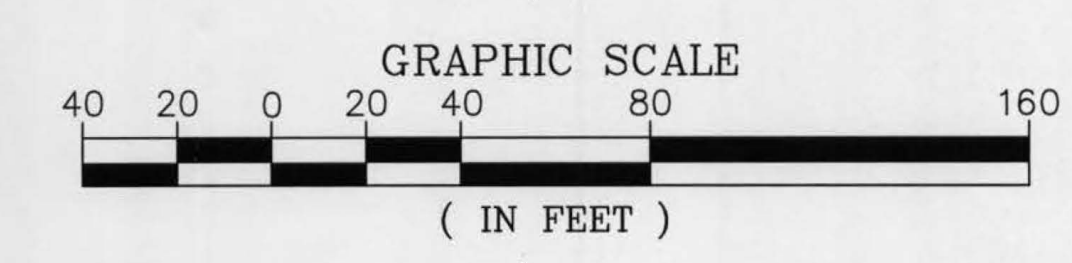
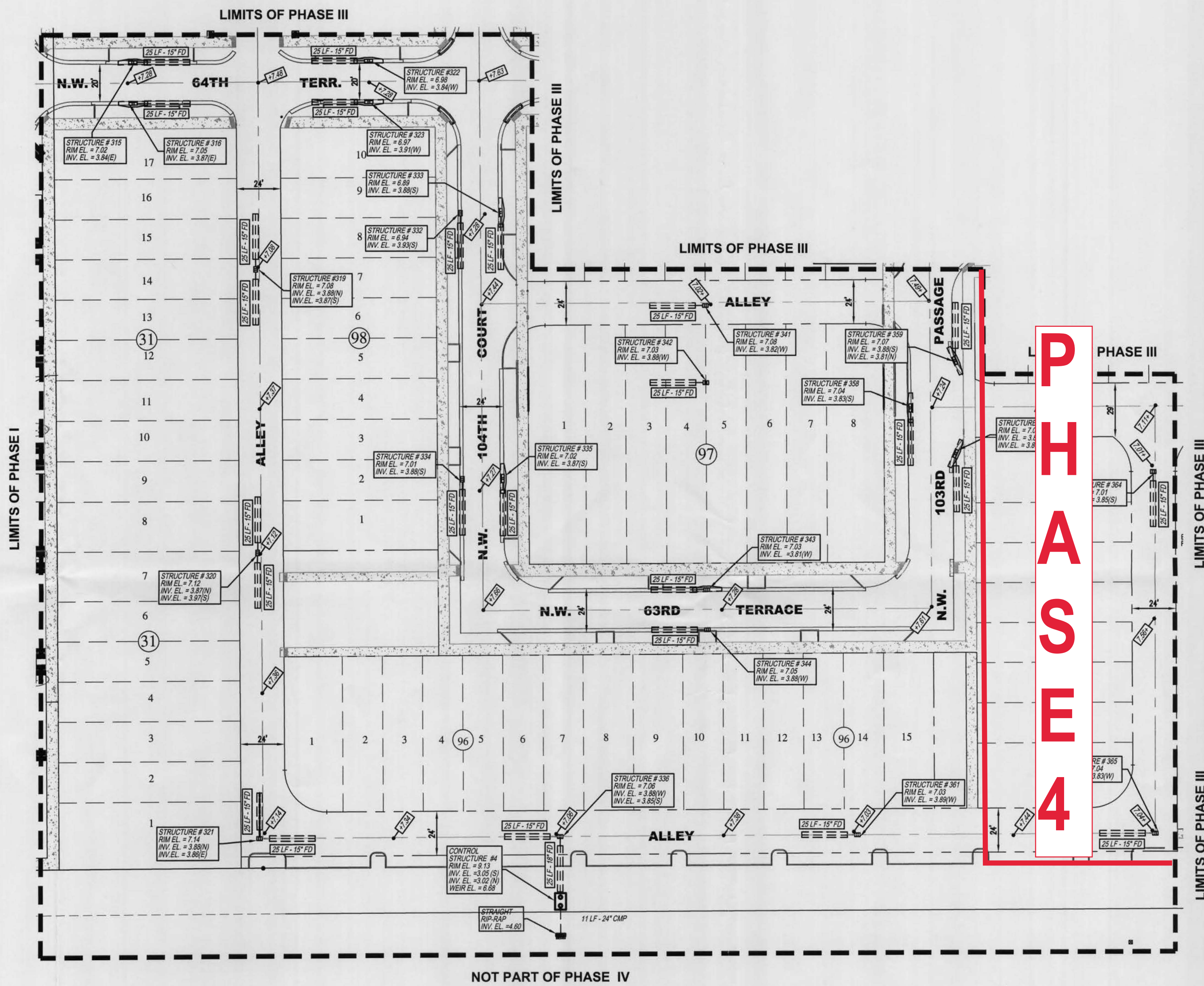
RECEIVED  
APR 10 2018  
SFWM D REGULATION



COUNTY-WIDE LAND SURVEYORS, INC.  
LAND SURVEYORS - PLANNERS  
14241 S.W. 143 COURT  
MIAMI, FLORIDA 33186  
PH: 305.232.2340  
FX: 305.232.5386

**LANDMARK AT DORAL PHASE V**  
MIAMI-DADE, FLORIDA

BY APP	
REVISION COMMENTS	
DATE	
SECTION	SECTION 17, TWP. 53S, RGE. 40E
PRAL LOC.	W. 104th ST. - NW 158th ST.
PRAL TYPE	DRAINAGE AS-BUILT PLAN
SCALE	AS SHOWN
SURVEYOR	COUNTY-WIDE
DRAWN BY	DEXTER
CHECKED BY	O.G.
AS-BUILT	DRAINAGE
DATE	3 / 12 / 18
DRE PROJECT No.	2016-043
SHEET No.	2 of 2



KEYMAP  
SCALE: 1" = 300'



**LANDMARK AT DORAL PHASE IV**  
MIAMI-DADE, FLORIDA

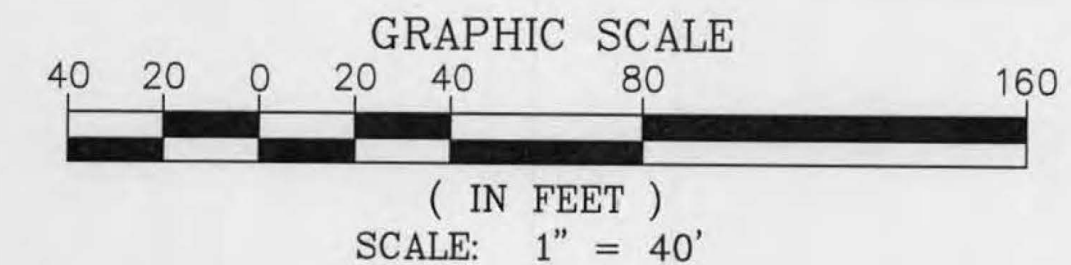
DATE	REVISION COMMENTS	BY	APP

SCALE: AS SHOWN  
 SURVEYOR: COUNTY-WIDE  
 DRAWN BY: DEXTER  
 CHECKED BY: O.G.  
 AS-BUILT: DRAINAGE  
 DATE: 3/9/18  
 DRE PROJECT No: 2016-043  
 SHEET No: 2 of 2

RECEIVED  
 APR 10 2018  
 SFWMD REGULATION

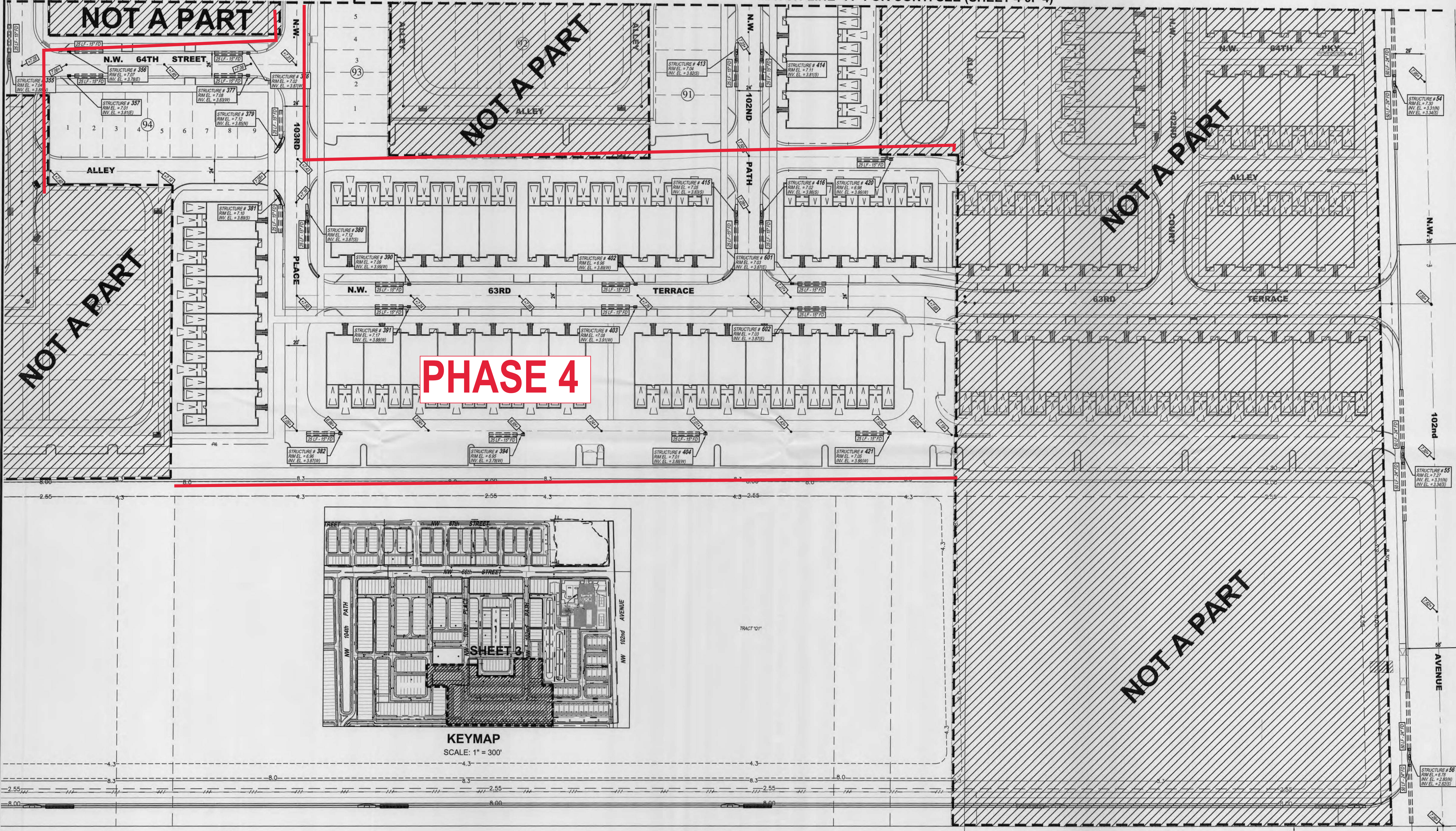






MATCH-LINE "B" FOR CONT. SEE (SHEET 2 OF 4)

MATCH-LINE "A" FOR CONT. SEE (SHEET 4 OF 4)



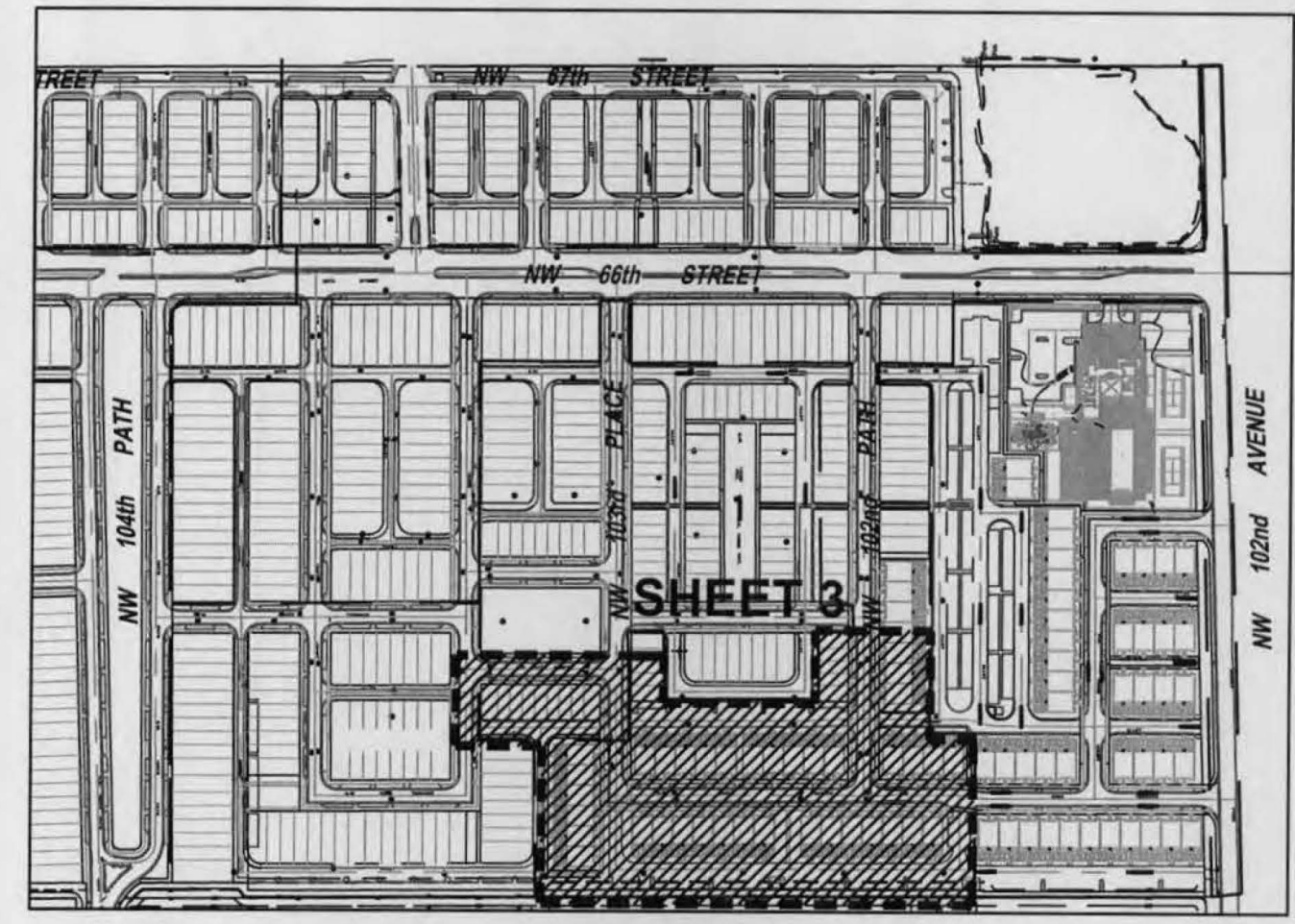
NOT A PART

NOT A PART

NOT A PART

**PHASE 4**

NOT A PART



COUNTY-WIDE LAND SURVEYORS, INC.  
LAND SURVEYORS - PLANNERS  
MIAMI, FLORIDA 33186  
14241 S.W. 143 COURT  
PH: 305.232.2340  
FX: 305.232.5366

**LANDMARK AT DORAL PHASE III**  
MIAMI-DADE, FLORIDA

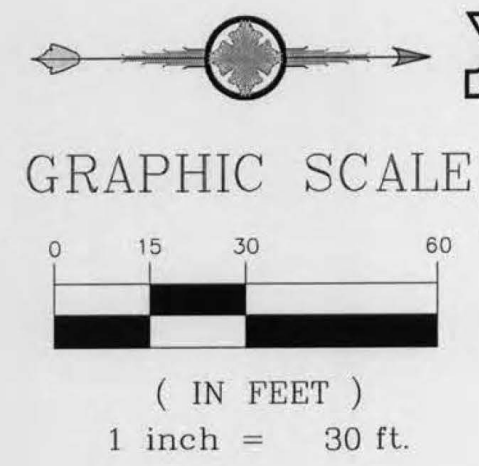
REVISION COMMENTS	DATE	BY	APP
REVISOR PER COMMENTS ENGINEER <td>4/14/18 <td></td> <td>D.P.O.G.</td> </td>	4/14/18 <td></td> <td>D.P.O.G.</td>		D.P.O.G.

PROJECT TYPE: DRAINAGE AS-BUILT PLAN  
PROJECT LOCATION: W. 104th ST. - NW 158th ST.  
SECTION: SECTION 17, TWP. 53S, RGE. 40E

SCALE: AS SHOWN  
SURVEYOR: COUNTY-WIDE  
DRAWN BY: DEXTER  
CHECKED BY: O.G.  
AS-BUILT: DRAINAGE  
DATE: 3/13/18  
DRE PROJECT No: 2016-043  
SHEET No: 3 of 4

RECEIVED  
APR 10 2018  
SFWMD REGULATION





**PHASE 4**

NOT A PART OF THIS AS-BUILT

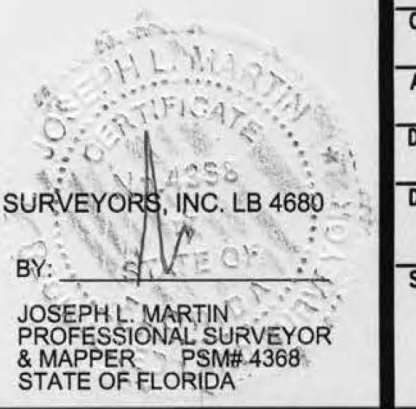
**DRAINAGE AS-BUILT LEGEND**

- AS-BUILT DRAINAGE STRUCTURES
- EXIST. DRAINAGE STRUCTURES
- DENOTES FRENCH DRAIN
- AS-BUILT PAVEMENT
- EXIST. PAVEMENT
- AS-BUILT 2" C&G
- EXIST. 2" C&G
- DENOTES AS-BUILT FIRST LIFT PAVEMENT ELEVATION
- DENOTES AS-BUILT INFORMATION

INLET # 5 (TYPE-P INLET)  
RIM EL. = 7.60  
INV. EL. = 0.06(N/E)  
INV. EL. = 2.67(SE)  
INV. EL. = 2.74(NW)  
BOS EL. = (-)1.43

**NOTE**  
PAVEMENT AS-BUILT ELEVATIONS SHOWN ARE TO THE 1st LIFT, AN ADDITIONAL 3/4" WILL BE ADDED IN THE FUTURE BY THE DEVELOPER.

RECEIVED  
APR 10 2018  
COUNTY-WIDE LAND SURVEYORS, INC. LB 4680



**COUNTY-WIDE LAND SURVEYORS, INC.**  
LAND SURVEYORS - PLANNERS  
14241 S.W. 143 COURT  
MIAMI, FLORIDA 33186  
PH: 305.232.2240  
FX: 305.232.5396

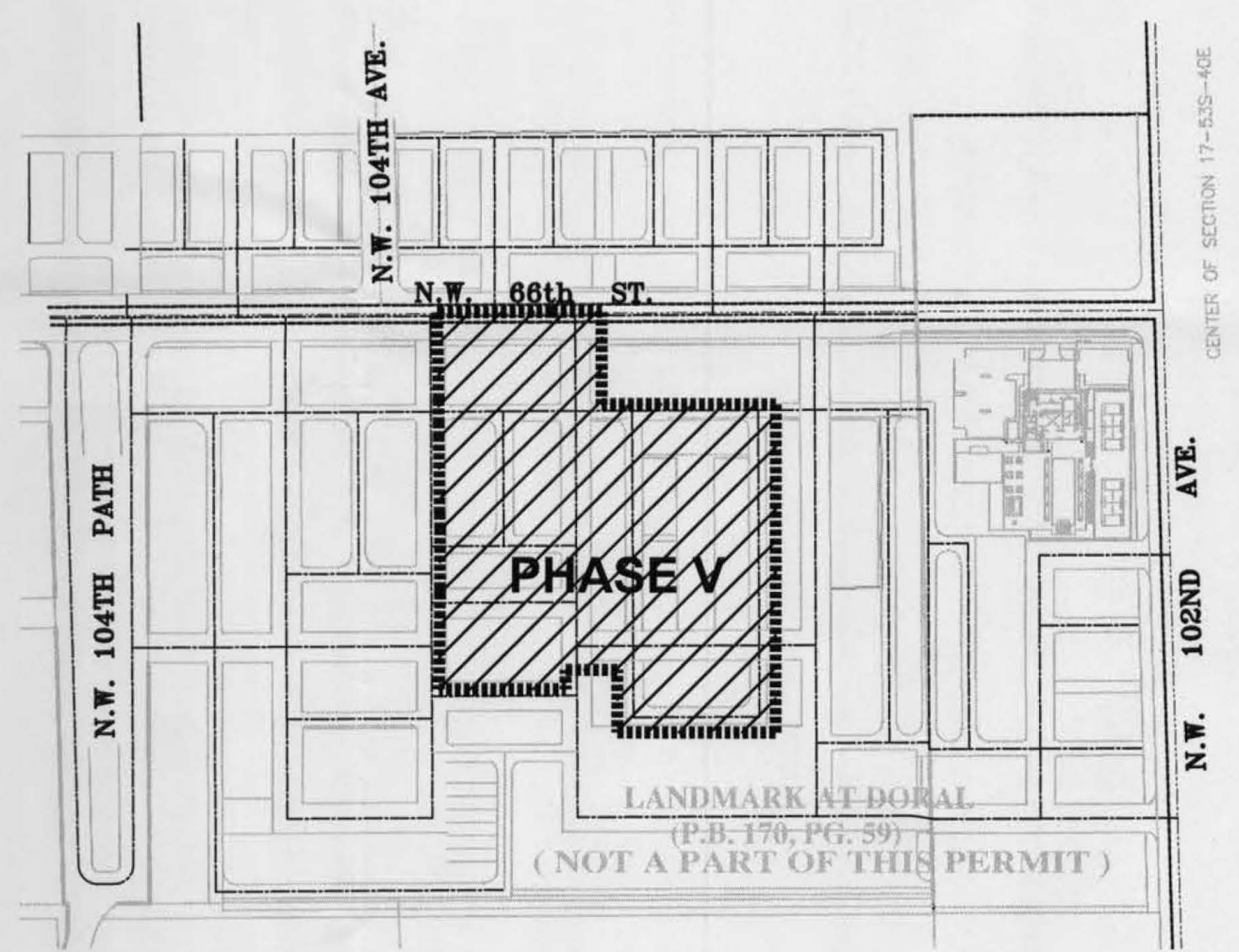
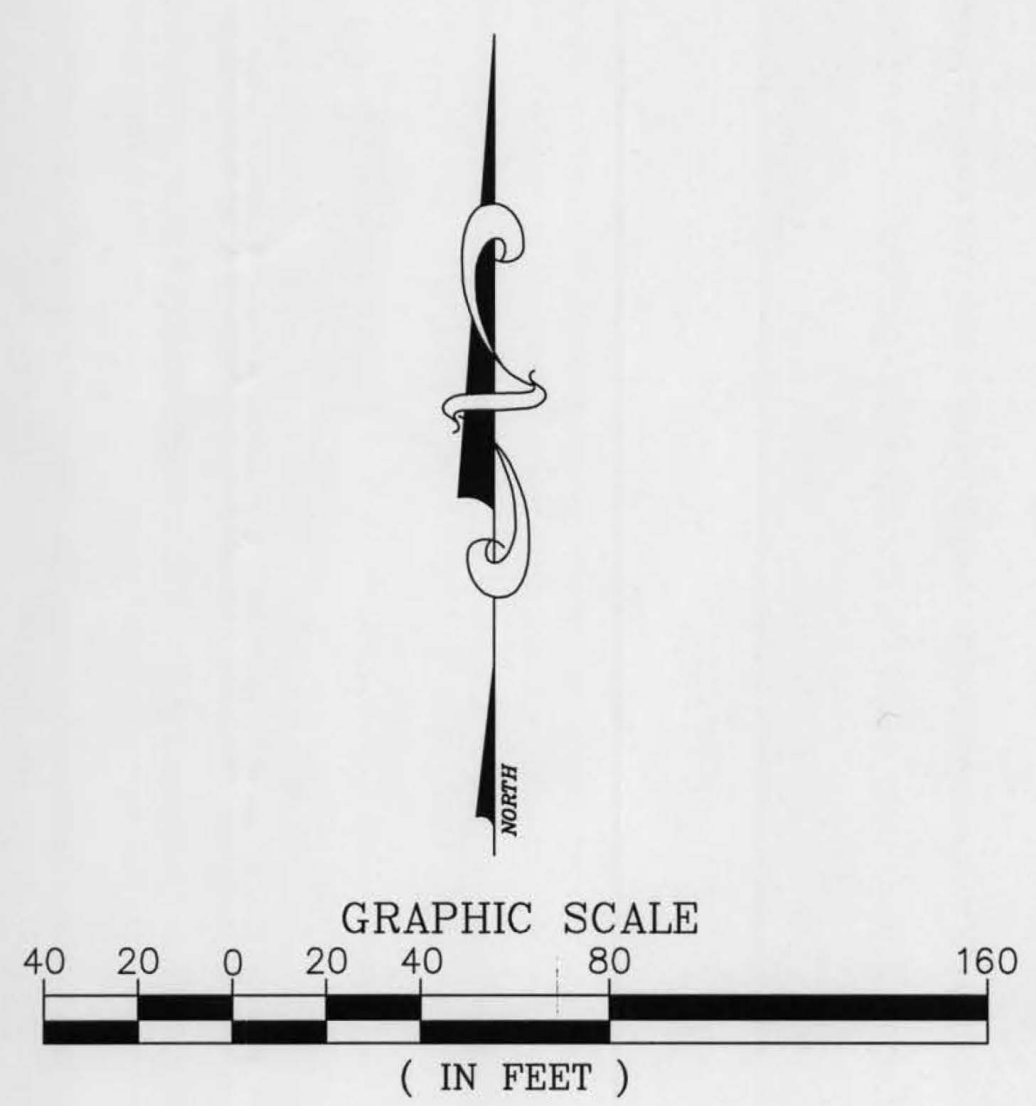
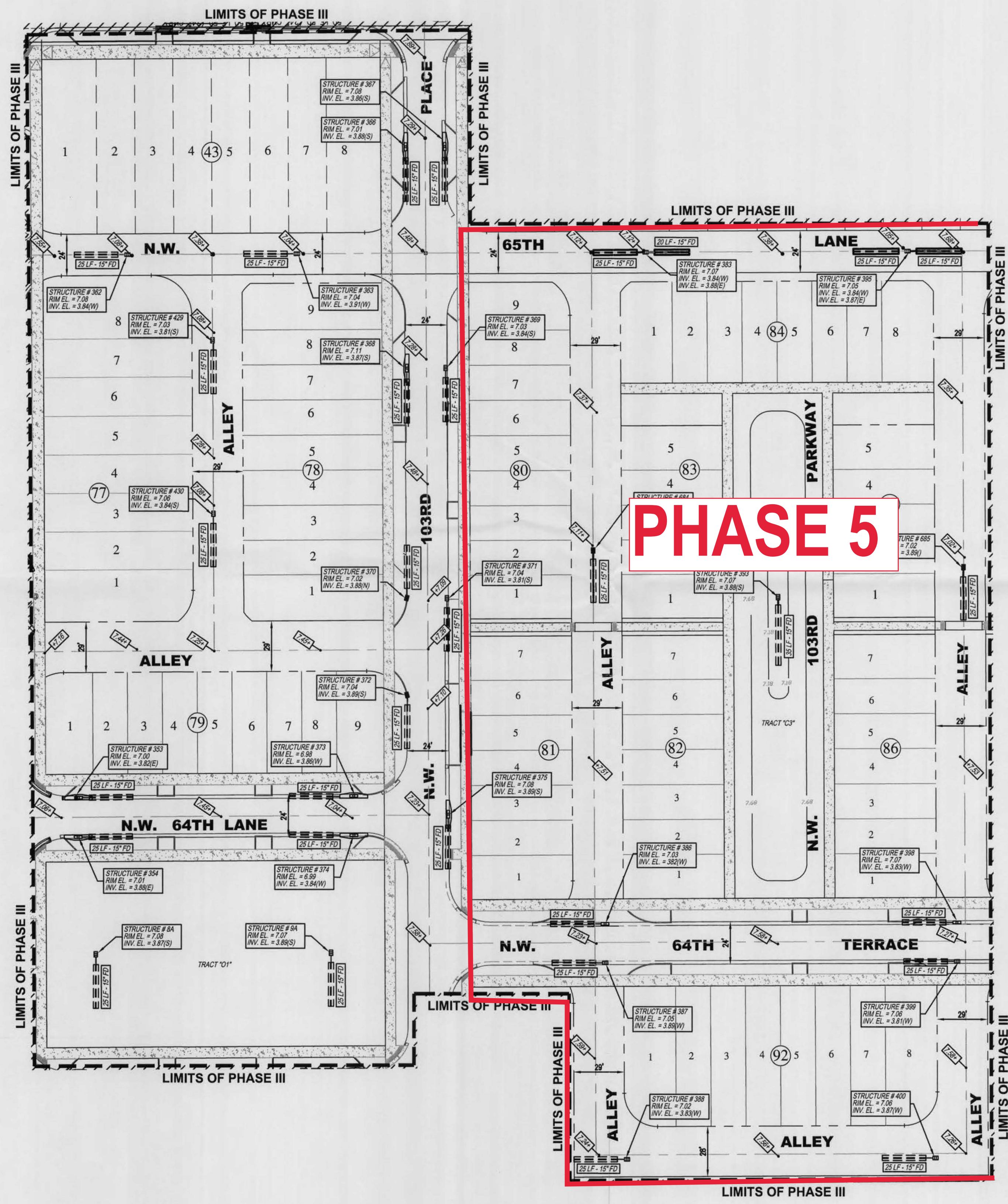
SCALE:	AS SHOWN
SURVEYOR:	COUNTY-WIDE
DRAWN BY:	DEXTER
CHECKED BY:	O.G.
AS-BUILT:	DRAINAGE
DATE:	03-14-18
DRE PROJECT No:	2015-063
SHEET No:	2 of 2

**LANDMARK AT DORAL (PHASE 7)**  
MIAMI-DADE COUNTY, FLORIDA

DRAINAGE AS-BUILT PLAN  
N.W. 107th AVE. & N.W. 66th STREET  
SECTION 17, TWP. 53S, RGE. 40E

BY APP	REVISION COMMENTS	DATE
D.P.O.G.	REVISED PER COMMENTS ENGINEER	4 / 4 / 18

# PHASE 5



KEYMAP  
SCALE: 1" = 300'

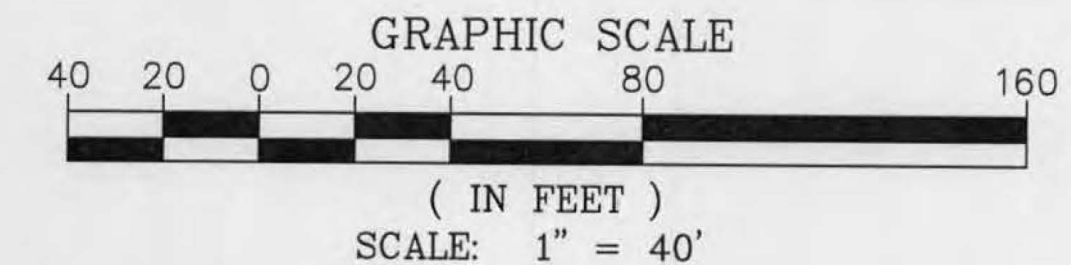
RECEIVED  
APR 10 2018  
SFWM REGULATION



COUNTY-WIDE LAND SURVEYORS, INC.  
LAND SURVEYORS - PLANNERS  
14241 S.W. 143 COURT  
MIAMI, FLORIDA 33186  
PH: 305.232.2340  
FX: 305.232.5386

LANDMARK AT DORAL PHASE V  
MIAMI-DADE, FLORIDA

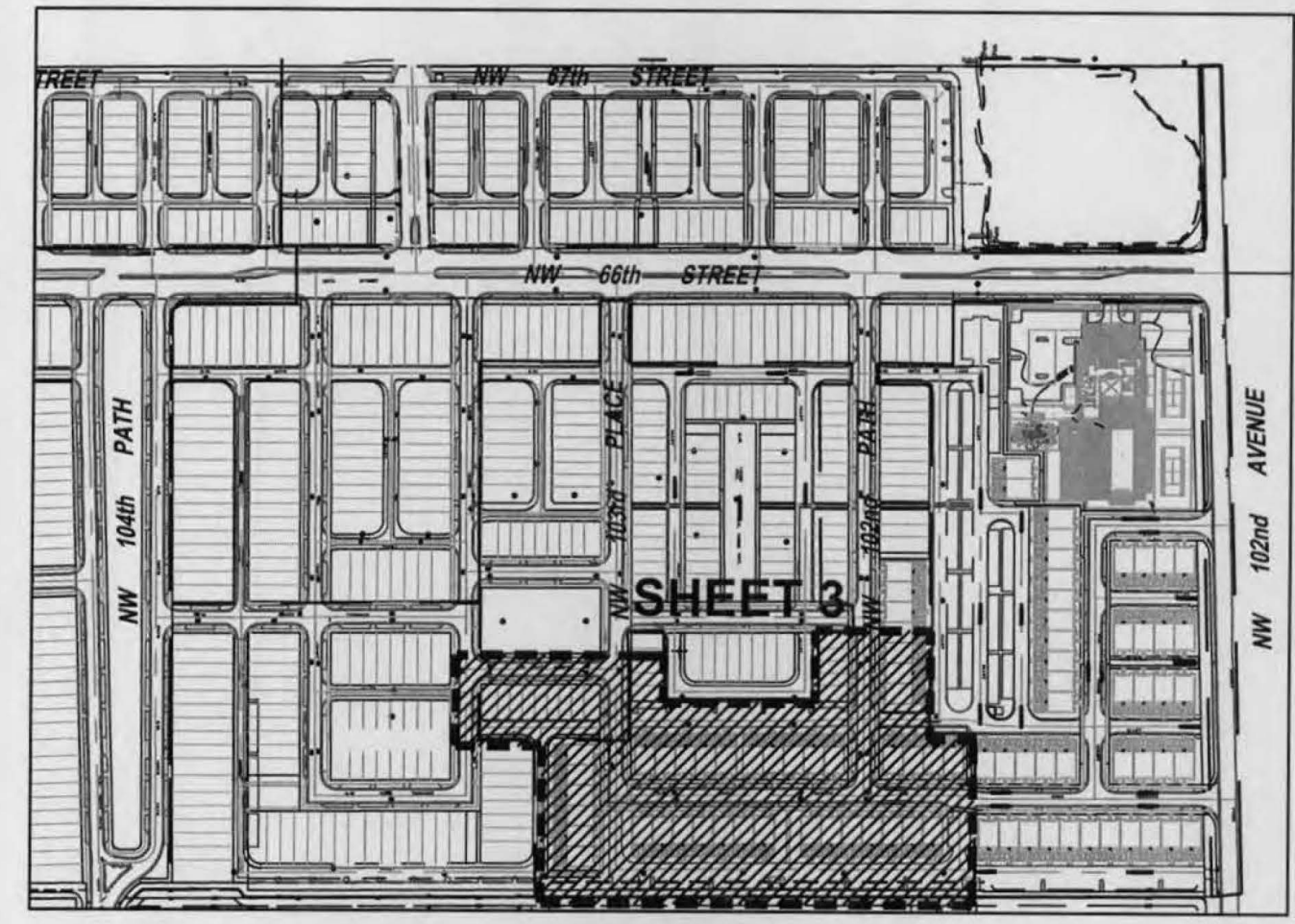
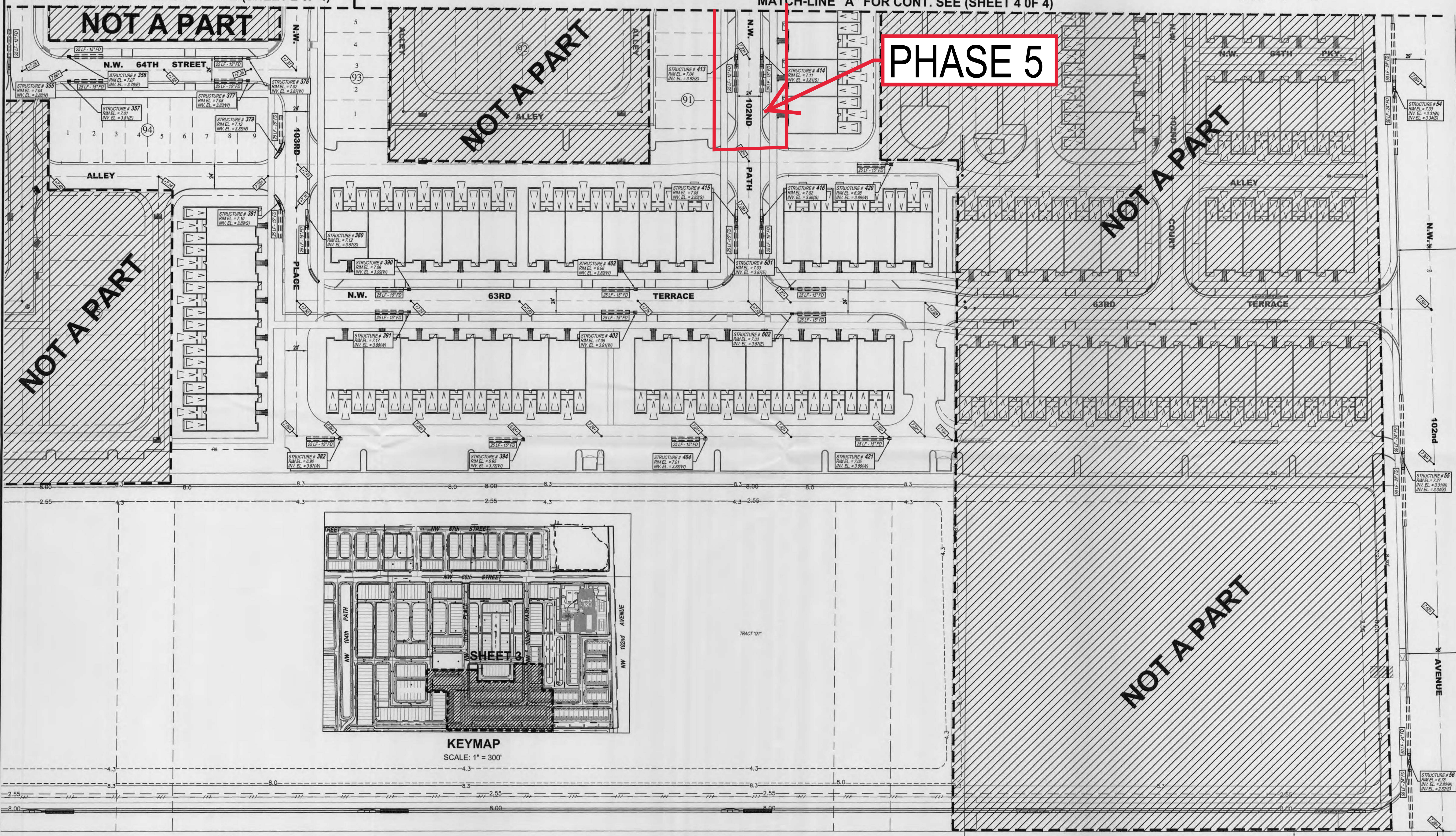
BY APP	
REVISION COMMENTS	
DATE	
SECTION	SECTION 17, TWP. 53S, RGE. 40E
PRAL LOC.	W. 104th ST. - NW 158th ST.
PRAL TYPE	DRAINAGE AS-BUILT PLAN
SCALE	AS SHOWN
SURVEYOR	COUNTY-WIDE
DRAWN BY	DEXTER
CHECKED BY	O.G.
AS-BUILT	DRAINAGE
DATE	3 / 12 / 18
DRE PROJECT No.	2016-043
SHEET No.	2 of 2



MATCH-LINE "B" FOR CONT. SEE (SHEET 2 OF 4)

MATCH-LINE "A" FOR CONT. SEE (SHEET 4 OF 4)

**PHASE 5**



KEYMAP  
SCALE: 1" = 300'

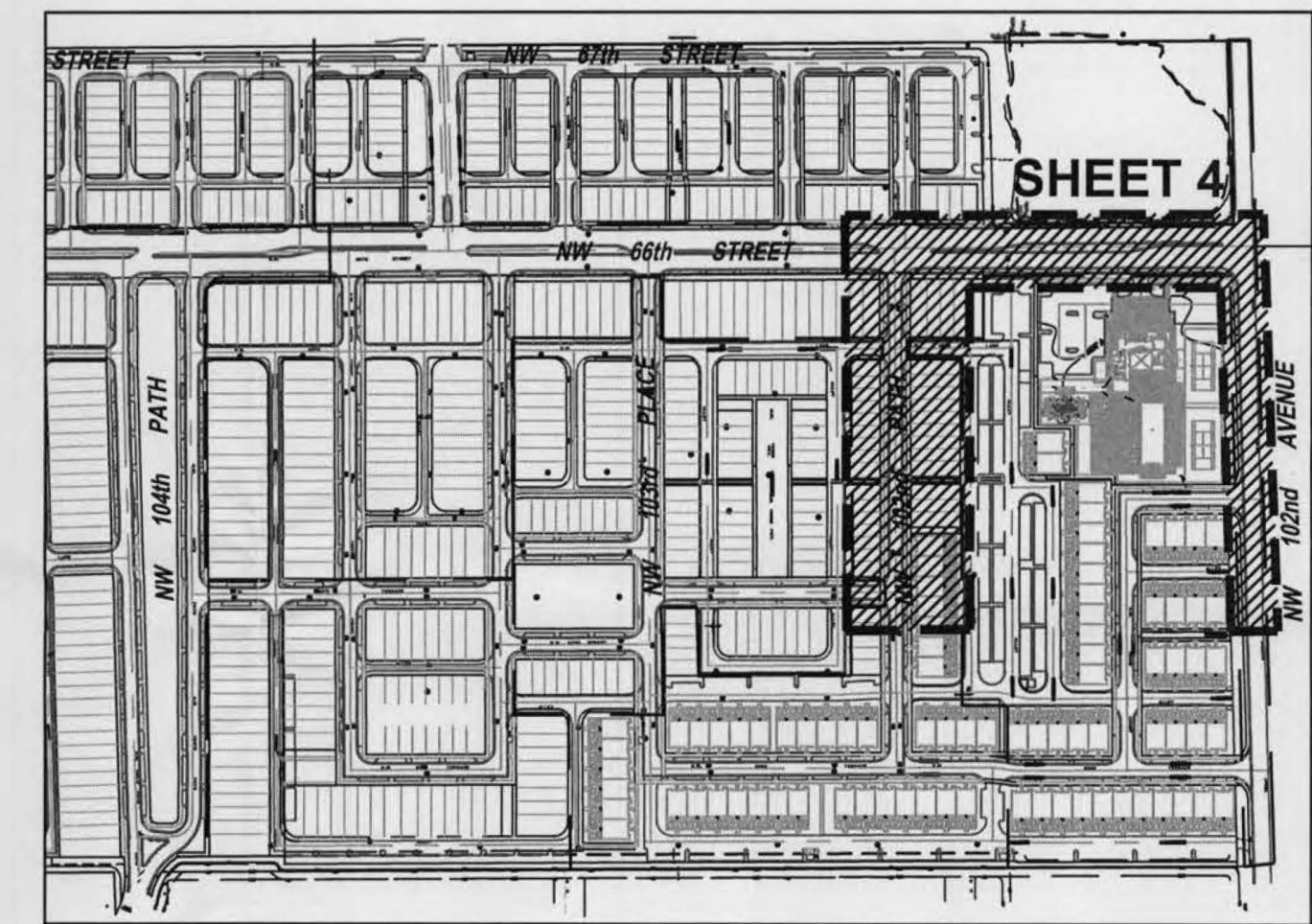
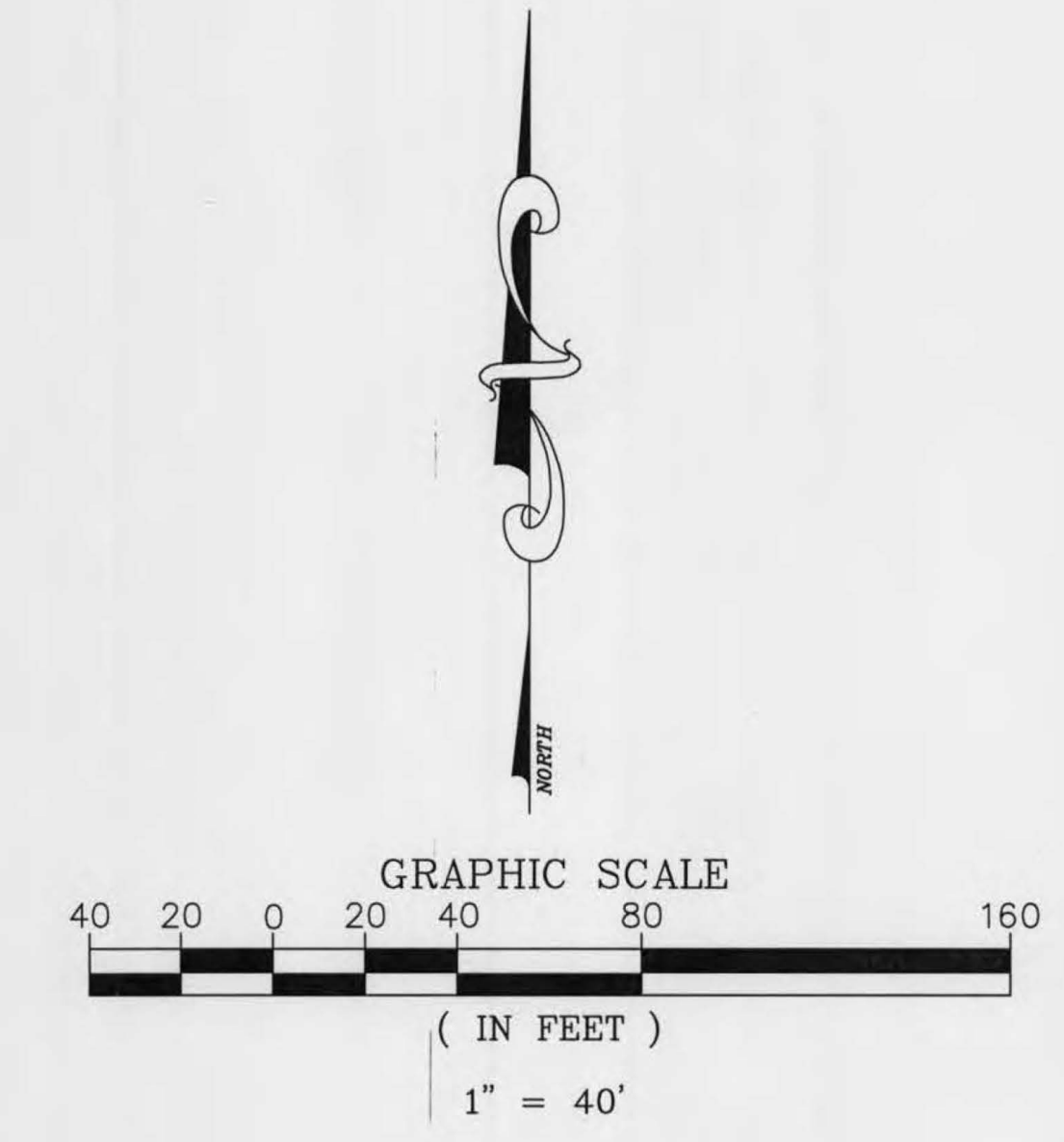
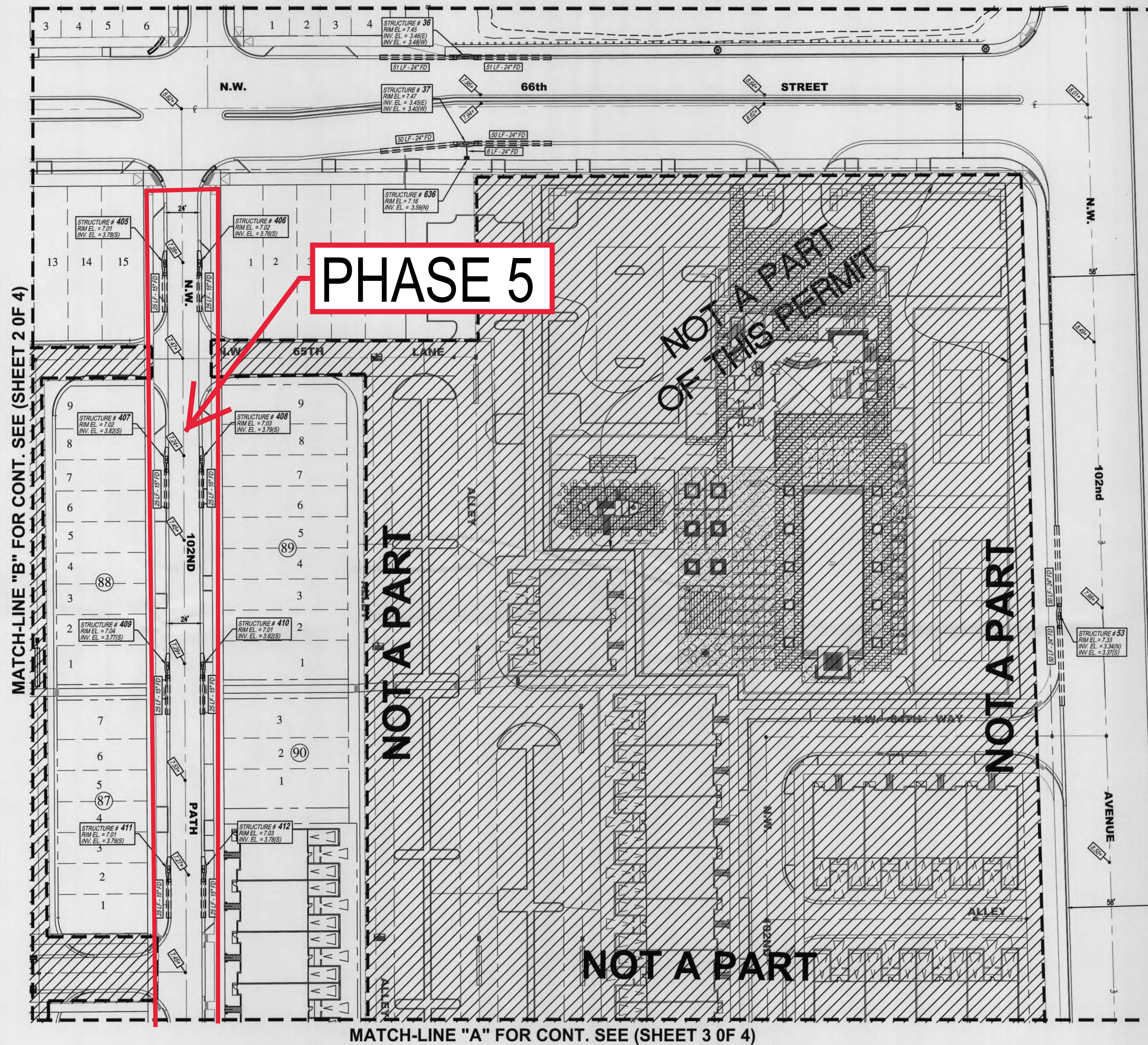
COUNTY-WIDE LAND SURVEYORS, INC.  
LAND SURVEYORS - PLANNERS  
14241 S.W. 143 COURT  
MIAMI, FLORIDA 33186  
PH: 305.232.2340  
FX: 305.232.5366

**LANDMARK AT DORAL PHASE III**  
MIAMI-DADE, FLORIDA

BY APP	REVISION COMMENTS	DATE
D.P.O.G.	REVISED PER COMMENTS ENGINEER	4/14/18
PROJECT TYPE	DRAINAGE AS-BUILT PLAN	
PROJECT NO.	W. 104th ST. - NW 158th ST.	
SECTION	SECTION 17, TWP. 53S, RGE. 40E	

RECEIVED  
APR 10 2018  
SFWMD REGULATION

SCALE	AS SHOWN
SURVEYOR	COUNTY-WIDE
DRAWN BY	DEXTER
CHECKED BY	O.G.
AS-BUILT	DRAINAGE
DATE	3 / 13 / 18
DRE PROJECT No.	2016-043
SHEET No.	3 of 4



KEYMAP  
SCALE: 1" = 300'

COUNTY-WIDE LAND SURVEYORS, INC.  
LAND SURVEYORS - PLANNERS  
14241 S.W. 143 COURT  
MIAMI, FLORIDA 33186  
PH: 305.232.2240  
FX: 305.232.5366

LANDMARK AT DORAL PHASE III  
MIAMI-DADE, FLORIDA

BY APP	REVISION COMMENTS	DATE
D.P.O.G.	REVISED PER COMMENTS ENGINEER	4/14/18

PROJECT TYPE: DRAINAGE AS-BUILT PLAN  
PROJECT LOC: W. 104th ST. - NW 158th ST.  
SECTION: SECTION 17, TWP. 53S, RGE. 40E

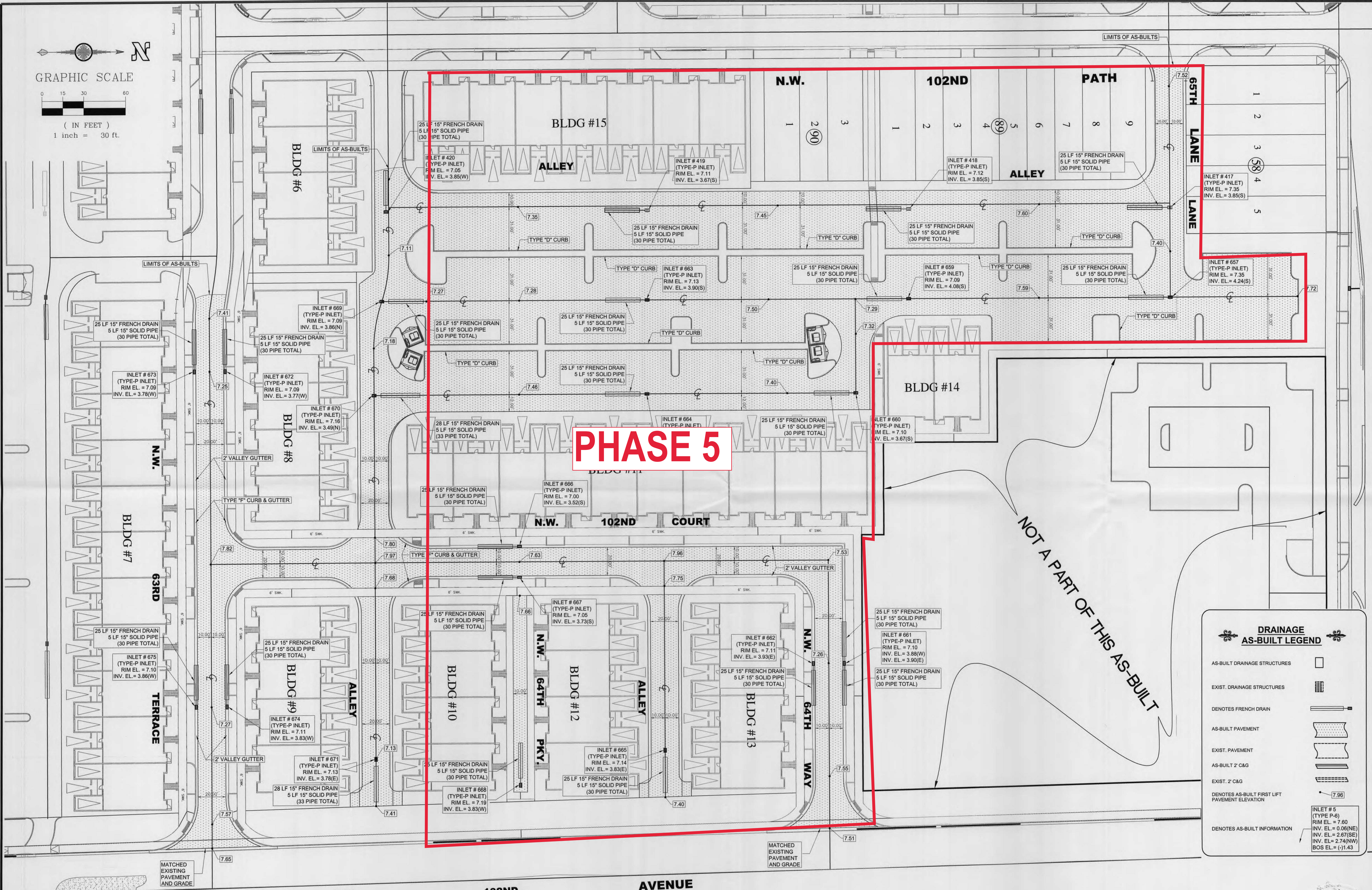
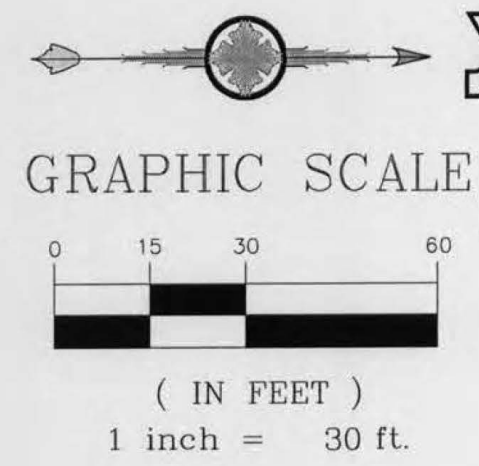
SCALE:	AS SHOWN
SURVEYOR:	COUNTY-WIDE
DRAWN BY:	DEXTER
CHECKED BY:	O.G.
AS-BUILT:	DRAINAGE
DATE:	3/13/18
DRE PROJECT No:	2016-043
SHEET No:	4 of 4

RECEIVED  
APR 10 2018  
SFWM D REGULATION



MATCH-LINE "B" FOR CONT. SEE (SHEET 2 OF 4)

MATCH-LINE "A" FOR CONT. SEE (SHEET 3 OF 4)



**PHASE 5**

NOT A PART OF THIS AS-BUILT

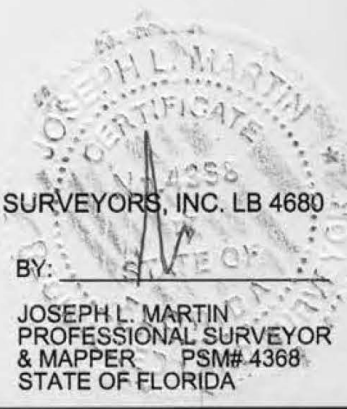
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- EXIST. DRAINAGE STRUCTURES
- DENOTES FRENCH DRAIN
- AS-BUILT PAVEMENT
- EXIST. PAVEMENT
- AS-BUILT 2" C&G
- EXIST. 2" C&G
- DENOTES AS-BUILT FIRST LIFT PAVEMENT ELEVATION
- DENOTES AS-BUILT INFORMATION

INLET # 5 (TYPE-P INLET)  
RIM EL. = 7.60  
INV. EL. = 0.06(N/E)  
INV. EL. = 2.67(SE)  
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BOS EL. = (-)1.43

**NOTE**  
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RECEIVED  
APR 10 2018  
SFWMD REGULATION



**COUNTY-WIDE LAND SURVEYORS, INC.**  
LAND SURVEYORS - PLANNERS  
14241 S.W. 143 COURT  
MIAMI, FLORIDA 33186  
PH: 305.232.2240  
FX: 305.232.5396

**LANDMARK AT DORAL (PHASE 7)**  
MIAMI-DADE COUNTY, FLORIDA

PROJ. FILE:	DRAINAGE AS-BUILT PLAN	REVISION COMMENTS	BY	APP
PROJ. LOC.:	N.W. 107th AVE. & N.W. 66th STREET	REVISED PER COMMENTS ENGINEER		D.P.O.G.
SECTION:	SECTION 17, TWP. 53S, RGE. 40E			
SCALE:	AS SHOWN			
SURVEYOR:	COUNTY-WIDE			
DRAWN BY:	DEXTER			
CHECKED BY:	O.G.			
AS-BUILT:	DRAINAGE			
DATE:	03-14-18			
DRE PROJECT No.:	2015-063			
SHEET No.:	2 of 2			

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**3F**





**Landmark at Doral Homeowner's Association, Inc.  
10220 NW 66<sup>th</sup> Street  
Doral, FL 33178**

**Invoice # 103**

**Date: November 9th, 2023**

**To: Daniel Rom, District Manager  
CDD  
P.O. Box 810036  
Boca Raton, FL 33481**

**Amount Due: \$3,638.00**

**For Services Rendered: Emergency Repairs – Dumpster Doors located  
behind 10220 NW 63<sup>rd</sup> Terrace**

**Please make check payable to:  
Landmark at Doral Homeowner's Association, Inc.  
10220 NW 66<sup>th</sup> Street  
Doral, FL 33178**

**Thank you.**



**Landmark at Doral Homeowner's Association, Inc.  
10220 NW 66<sup>th</sup> Street  
Doral, FL 33178**

**Invoice # 105**

**Date: November 7, 2023**

**To: Daniel Rom, District Manager  
CDD  
P.O. Box 810036  
Boca Raton, FL 33481**

**Amount Due: \$1,148.04**

**For Services Rendered: Brightview Emergency Repairs – Broken  
mainline Landmark entrance – Invoice #8640464**

**Please make check payable to:  
Landmark at Doral Homeowner's Association, Inc.  
10220 NW 66<sup>th</sup> Street  
Doral, FL 33178**

**Thank you.**



# INVOICE

**Sold To:** 23018457  
 Landmark At Doral HOA  
 10220 NW 66 St  
 Doral FL 33178

**Customer #:** 23018457  
**Invoice #:** 8640464  
**Invoice Date:** 10/17/2023  
**Sales Order:** 8254559  
**Cust PO #:**

**Project Name:** Emergency Repair - Landmark  
**Project Description:** Irrigation mainline repair underneath pavers.

Job Number	Description	Qty	UM	Unit Price	Amount
353800030	Landmark At Doral HOA Need to repair broken mainline	1.000	EA	1148.04	1,148.04
	PLEASE NOTE: PAVERS/CONCRETE R	1.000	EA	0.00	
<b>Total Invoice Amount</b>					<b>1,148.04</b>
<b>Taxable Amount</b>					
<b>Tax Amount</b>					
<b>Balance Due</b>					<b>1,148.04</b>

**Terms:** Net 15 Days

If you have any questions regarding this invoice, please call 305 258-8011

*Please detach stub and remit with your payment*

### Payment Stub

Customer Account #: 23018457  
 Invoice #: 8640464  
 Invoice Date: 10/17/2023

<b>Amount Due: \$ 1,148.04</b>
--------------------------------

*Thank you for allowing us to serve you*

Please reference the invoice # on your check and make payable to

Landmark At Doral HOA  
 10220 NW 66 St  
 Doral FL 33178

BrightView Landscape Services, Inc.  
 P.O. Box 740655  
 Atlanta, GA 30374-0655

## Proposal for Extra Work at Landmark At Doral HOA

Property Name	Landmark At Doral HOA	Contact	Judy Calderon-Robles
Property Address	10220 NW 66 Street Doral, FL 33178	To	Landmark At Doral HOA
		Billing Address	10220 NW 66 St Doral, FL 33178

Project Name      Emergency Repair - Landmark  
Project Description      Irrigation mainline repair underneath pavers

### Scope of Work

QTY	UoM/Size	Material/Description
1.00	EACH	Need to repair broken mainline at intersection next to light pole NW 66st and 107 Ave. Break is underneath pavers. Brightview will need to remove pavers, disturb concrete if necessary to make this repair. Time and Materials.
1.00	EACH	PLEASE NOTE: PAVERS/CONCRETE RESTORATION WILL NEED TO BE DONE BY OTHERS.

**Other**

**broken mainline landmark main entrance**



**mainline break underneath pavers**



For internal use only

SO#                    8254559  
JOB#                353800030  
Service Line        150

**Total Price                    \$1,148.04**

**THIS IS NOT AN INVOICE**

This proposal is valid for thirty (30) days unless otherwise approved by Contractor's Senior Vice President  
4155 East Mowry Dr, Homestead, FL 33033 ph: (305) 258-6011 fax: (305) 258-0809

### TERMS & CONDITIONS

- 1. The Contractor shall recognize and perform in accordance with written terms written specifications and drawings only contained or referred to herein. All materials shall conform to bid specifications.
- 2. Work Force Contractor shall designate a qualified representative with experience in landscape maintenance/construction upgrades or when applicable in tree management. The workforce shall be competent and qualified and shall be legally authorized to work in the U.S.
- 3. License and Permits Contractor shall maintain a Landscape Contractor's license if required by State or local law and will comply with all other license requirements of the City, State and Federal Governments, as well as all other requirements of law. Unless otherwise agreed upon by the parties or prohibited by law, Customer shall be required to obtain all necessary and required permits to allow the commencement of the Services on the property.
- 4. Taxes Contractor agrees to pay all applicable taxes including sales or General Excise Tax (GET) where applicable.
- 5. Insurance Contractor agrees to provide General Liability Insurance, Automotive Liability Insurance, Worker's Compensation Insurance, and any other insurance required by law or Customer as specified in writing prior to commencement of work. If not specified, Contractor will furnish insurance with \$1,000,000 limit of liability.
- 6. Liability Contractor shall not be liable for any damage that occurs from Acts of God defined as extreme weather conditions, fire, earthquake, etc. and rules, regulations or restrictions imposed by any government or governmental agency, national or regional emergency, epidemic, pandemic, health related outbreak or other medical events not caused by one or other delays or failure of performance beyond the commercially reasonable control of either party. Under these circumstances, Contractor shall have the right to renegotiate the terms and prices of this Contract within sixty (60) days.
- 7. Any illegal trespass, claims and/or damages resulting from work requested that is not on property owned by Customer or not under Customer management and control shall be the sole responsibility of the Customer.
- 8. Subcontractors Contractor reserves the right to hire qualified subcontractors to perform specialized functions or work requiring specialized equipment.
- 9. Additional Services Any additional work not shown in the above specifications involving extra costs will be executed only upon signed written orders and will become an extra charge over and above the estimate.
- 10. Access to Jobsite Customer shall provide all utilities to perform the work. Customer shall furnish access to all parts of jobsite where Contractor is to perform work as required by the Contract or other functions related thereto during normal business hours and other reasonable periods of time. Contractor will perform the work as reasonably practical after the Customer makes the site available for performance of the work.
- 11. Payment Terms Upon signing this Agreement, Customer shall pay Contractor 50% of the Proposed Price and the remaining balance shall be paid by Customer to Contractor upon completion of the project unless otherwise agreed to in writing.
- 12. Termination This Work Order may be terminated by the either party with or without cause upon seven (7) workdays advance written notice. Customer will be required to pay for all materials purchased and work complete to the date of termination and reasonable charges incurred in demobilizing.
- 13. Assignment The Customer and the Contractor respectively bind themselves their partners, successors, assignees and legal representative to the other party with respect to all covenants of this Agreement. Neither the Customer nor the Contractor shall assign or transfer any interest in this Agreement without the written consent of the other provided, however, that consent shall not be required to assign the Agreement to any company which controls is controlled by or is under common control with Contractor or in connection with assignment to an affiliate or pursuant to a merger, sale of all or substantially all of its assets or equity securities, consolidation, change of control or corporate reorganization.
- 14. Disclaimer This proposal was estimated and priced based upon a site visit and visual inspection from ground level using ordinary means at or about the time this proposal was prepared. The price quoted in this proposal for the work described is the result of that ground level visual inspection and therefore our company will not be liable for any additional costs or damages for additional work not described herein or liable for any incidents/accidents resulting from conditions that were not ascertainable by said ground level visual inspection by ordinary means at the time said inspection was performed. Contractor cannot be held responsible for unknown or otherwise hidden defects. Any corrective work proposed herein cannot guarantee exact results. Professional engineering, architectural and/or landscape design services ("Design Services") are not included in this Agreement and shall not be provided by the Contractor. Any design defects in the Contract Documents are the sole responsibility of the Customer. If the Customer must engage a licensed engineer, architect and/or landscape design professional, any costs concerning these Design Services are to be paid by the Customer directly to the designer involved.

15. Cancellation Notice of Cancellation of work must be received in writing before the crew is dispatched to their location or Customer will be liable for a minimum travel charge of \$150.00 and billed to Customer.


The following sections shall apply where Contractor provides Customer with tree care services:

- 16. Tree & Stump Removal Trees removed will be cut as close to the ground as possible based on conditions to or next to the bottom of the tree trunk. Additional charges will be levied for unseen hazards such as, but not limited to concrete brick filled trunks, metal rods, etc. If requested mechanical grinding of visible tree stump will be done to a defined width and depth below ground level at an additional charge to the Customer. Defined backfill and landscape material may be specified. Customer shall be responsible for contacting the appropriate underground utility locator company to locate and mark underground utility lines prior to start of work. Contractor is not responsible damage done to underground utilities such as but not limited to cables, wires, pipes, and irrigation parts. Contractor will repair damaged irrigation lines at the Customer's expense.
- 17. Waiver of Liability Requests for crown thinning in excess of twenty-five percent (25%) or work not in accordance with ISA (International Society of Arboriculture) standards will require a signed waiver of liability.

By executing this document, Customer agrees to the formation of a binding contract and to the terms and conditions set forth herein. Customer represents that Contractor is authorized to perform the work stated on the face of this Contract. If payment has not been received by Contractor per payment terms hereunder, Contractor shall be entitled to all costs of collection including reasonable attorneys' fees and it shall be relieved of any obligation to continue performance under this or any other Contract with Customer. Interest at a per annum rate of 1.5% per month (18% per year) or the highest rate permitted by law, may be charged on unpaid balance 15 days after billing.

NOTICE: FAILURE TO MAKE PAYMENT WHEN DUE FOR COMPLETED WORK ON CONSTRUCTION JOBS MAY RESULT IN A MECHANIC'S LIEN ON THE TITLE TO YOUR PROPERTY.

**CUSTOMER**

  
 Signature: Odel Torres Title: Property Manager  
 Printed Name: Odel Torres Date: October 12, 2023

**BrighView Landscape Services, Inc. "Contractor"**

Signature: \_\_\_\_\_ Title: Manager, Irrigation  
 Printed Name: Maria Liz Romero Date: October 12, 2023  
 Job #: 353800030  
 SO #: 8254559 Proposed Price: \$1,148.04

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**4A**

September 5, 2023  
Opportunity No. 090345223

Via email to [juan.alvarez@alvarezeng.com](mailto:juan.alvarez@alvarezeng.com)

Mr. Juan Alvarez  
Landmark at Doral Community Development District  
2300 Glades Road, Suite 410W  
Boca Raton, FL 33431

**Subject: Landmark at Doral Community Development District  
Additional Environmental Services Related to the Consulting Services Agreement  
Between the District and SCS Engineers Dated December 12, 2019**

Dear Mr. Alvarez,

SCS Engineers (SCS) is providing this change order #5 to the subject Consulting Services Agreement to conduct the additional environmental services for the Landmark at Doral Community Development District (Landmark CDD), pursuant to meeting the requirements in DERM's letter dated June 16, 2023. The proposed scope of services, assumptions and limitations, and fees are provided below.

## **SCOPE OF SERVICES**

The following scope of services for the additional environmental services are described below. The scope of services excludes what is not stated herein.

### **Task 20 – Monitoring Well Installation, Testing, and Reporting**

SCS proposes to retest MW-8 for iron to discern whether a southern, shallow delineation well is necessary\*. Subsequent to the retesting, SCS will install four monitoring wells (two intermediate and two shallow) to comply with delineation requirements promulgated by DERM. Our previous experience with drilling at the Site indicates that two mobilizations will be required to install the monitoring wells. After allowing the monitoring wells to stabilize for approximately 48-hours, SCS will sample the monitoring wells. Samples will be submitted to Jupiter Environmental Laboratories (JEL) for iron analysis via EPA Method 6020. The findings from the above monitoring well installation and testing will be summarized in a Site Assessment Report Addendum, which will be signed and sealed by a Florida-licensed Professional Engineer or Professional Geologist.

The total fee associated with this task is **\$18,250**.

**\*Note that if the retesting for MW-8 indicates no exceedance of the iron groundwater cleanup target level, then only one shallow well will be installed and \$1,525 will not be billed.**

## Task 21 – Sub-regional Background Study for Iron in Groundwater

In order to discontinue delineation of shallow iron groundwater impacts, DERM requires a sub-regional background study to demonstrate that iron concentrations are consistent with sub-regional iron concentrations. SCS will conduct a sub-regional background study for iron within the vicinity of the Site, which will include the following:

- Internal discussions with SCS Senior Technical Advisors to develop an approach for the background study based on recent discussions with DERM.
- Evaluation of sub-regional iron concentrations from sites listed on the Environmental Considerations Map on DERM’s website. This includes the following:
  - Review of the technical reports and data submitted to DERM. Relevant information is downloaded and tabulated for statistical and background analysis.
  - Review of DERM correspondence to evaluate DERM’s responses (and potential approvals) of other sites’ background proposals.
- Compile and generate sub-regional iron concentration data sets from other sites within the vicinity.
- Coordination with GIS to generate the Miami-Dade County Anthropogenic Background data set from within the sub-region.
- Statistical evaluation using the 95% UCL analysis to establish off-site background levels.
- Statistical population comparisons of site concentrations versus background levels.
- Submittal of a background study plan and background study report for DERM review.

The total fee associated with this task is **\$12,000**.

## ASSUMPTIONS AND LIMITATIONS

Additional assumptions and limitations beyond those referenced above, are as follows:

1. Based on the results of this assessment, DERM may require additional assessment, which is not included herein.
2. Drum disposal is not included.
3. Regulatory review fees will be paid directly by Landmark CDD.
4. Laboratory turnaround time is standard 5-10 business days.
5. The background study may not yield the desired results and additional assessment may be required by DERM, which is excluded.

## FEES AND SCHEDULE

Task	Reimbursable Expenses	Professional Services	Proposed Change Order No. 5 Budget Increase
Task 20 – Well Installation, Retesting and Reporting	\$7,130 <sup>1,2</sup>	\$11,120	\$18,250
Task 21 – Sub-regional Background Study	\$0	\$12,000	\$12,000
<b>Total Fee</b>			<b>\$30,250</b>

**NOTE:**

1. JAEE Environmental Services, Inc.
2. Jupiter Environmental Laboratories



Landmark at Doral  
September 5, 2023  
Page 3 of 3

If you find this change order acceptable, please issue an Addendum to the Consulting Services Agreement.

Please contact us at (240) 449-7783 if you have any questions or require any additional information.

Sincerely,

A handwritten signature in blue ink that reads "D. Reio". The signature is fluid and cursive, with the first name "D." and the last name "Reio" clearly visible.

Dillon N. Reio, P.G.  
Project Manager  
SCS Engineers

A handwritten signature in blue ink that reads "Marco F. Hernandez". The signature is highly stylized and cursive, with the first name "Marco" and the last name "Hernandez" clearly visible.

Marco F. Hernandez, P.E.  
Project Director  
SCS Engineers

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**CONSENT  
AGENDA**

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**UNAUDITED  
FINANCIAL  
STATEMENTS**

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
FINANCIAL STATEMENTS  
UNAUDITED  
SEPTEMBER 30, 2023**

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
BALANCE SHEET  
GOVERNMENTAL FUNDS  
SEPTEMBER 30, 2023**

	Major Funds				Total Governmental Funds
	General	Debt Service Series 2016	Debt Service Series 2019	Capital Projects Series 2016	
<b>ASSETS</b>					
Cash - SunTrust					
Unreserved	\$ 503,617	\$ -	\$ -	\$ -	\$ 503,617
Reserved for parking garage	15	-	-	-	15
Reserved for south parcel	333	-	-	-	333
Reserved for army corp of engineers	362	-	-	-	362
Investments					
Revenue	-	91,080	528,267	-	619,347
Reserve	-	93,782	-	-	93,782
Interest	-	-	52	-	52
Interest A2	-	-	26	-	26
Sinking A2	-	-	67	-	67
Reserve - senior	-	-	366,800	-	366,800
Reserve - subordinate	-	-	161,500	-	161,500
Principal	-	-	169	-	169
Construction	-	-	-	13,861	13,861
Due from Merged	5,375	-	37,069	-	42,444
Due from North (Lennar)*	4,837	-	-	-	4,837
Total assets	<u>\$ 514,539</u>	<u>\$ 184,862</u>	<u>\$ 1,093,950</u>	<u>\$ 13,861</u>	<u>\$ 1,807,212</u>
<b>LIABILITIES</b>					
<b>Liabilities</b>					
Accounts payable	22,767	-	-	-	22,767
Taxes payable	153	-	-	-	153
Due to Lennar	3,000	-	-	-	3,000
Total liabilities	<u>25,920</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>25,920</u>
<b>DEFERRED INFLOWS OF RESOURCES</b>					
Deferred receipts	10,212	-	37,069	-	47,281
Total deferred inflows of resources	<u>10,212</u>	<u>-</u>	<u>37,069</u>	<u>-</u>	<u>47,281</u>
<b>Fund balances</b>					
Restricted for:					
Debt service	-	184,862	1,056,881	-	1,241,743
Capital projects	-	-	-	13,861	13,861
Assigned					
3 months working capital	135,638	-	-	-	135,638
Doral Cay stormwater	34,067	-	-	-	34,067
Unassigned	308,702	-	-	-	308,702
Total fund balances	<u>478,407</u>	<u>184,862</u>	<u>1,056,881</u>	<u>13,861</u>	<u>1,734,011</u>
Total liabilities, deferred inflows of resources and fund balances	<u>\$ 514,539</u>	<u>\$ 184,862</u>	<u>\$ 1,093,950</u>	<u>\$ 13,861</u>	<u>\$ 1,807,212</u>

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
GENERAL FUND  
FOR THE PERIOD ENDED SEPTEMBER 30, 2023**

	Current Month	Year to Date	Budget	% of Budget
<b>REVENUES</b>				
Assessment levy: on-roll	\$ -	\$ 525,827	\$ 522,556	101%
Interest & miscellaneous	4	66	-	N/A
Total revenues	<u>4</u>	<u>525,893</u>	<u>522,556</u>	101%
<b>EXPENDITURES</b>				
<b>Professional &amp; administrative</b>				
Supervisors	1,076	3,875	8,608	45%
Management/accounting/recording	4,542	41,282	41,282	100%
Legal - general counsel				
Billing, Cochran, Lyles, Mauro & Ramsey	2,452	19,488	18,000	108%
Engineering	16,058	35,452	25,000	142%
Audit	-	8,300	8,900	93%
Accounting services - debt service	442	5,305	5,305	100%
Assessment roll preparation	949	11,395	11,395	100%
Arbitrage rebate calculation	-	750	1,500	50%
Dissemination agent	292	3,500	3,500	100%
Trustee	-	8,492	5,500	154%
Postage & reproduction	94	174	500	35%
Printing & binding	42	500	500	100%
Legal advertising	955	1,209	1,500	81%
Office supplies	-	-	500	0%
Annual district filing fee	-	175	175	100%
Insurance: general liability	-	6,886	7,205	96%
ADA website compliance	-	210	210	100%
Website	-	705	705	100%
Contingencies	44	538	1,000	54%
Total professional & administrative	<u>26,946</u>	<u>148,236</u>	<u>141,285</u>	105%

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
GENERAL FUND  
FOR THE PERIOD ENDED SEPTEMBER 30, 2023**

	<u>Current Month</u>	<u>Year to Date</u>	<u>Budget</u>	<u>% of Budget</u>
<b>Field operations</b>				
Monitoring reports	-	-	3,600	0%
Wetlands planting and earthwork	-	10,883	5,500	198%
Wetland vegetation trimming	-	4,618	10,500	44%
Area management services	2,900	2,900	7,000	41%
Landscape improvements	-	-	31,500	0%
Security services	1,611	85,082	150,000	57%
Fountain	-	29,759	20,000	149%
Fountain - O&M	-	-	6,500	0%
Fence install - wetlands	-	-	19,500	0%
Fence repair	-	-	2,500	0%
Groundwater sampling	-	-	12,500	0%
Environmental investigation	-	-	47,500	0%
Annual permits	-	-	6,000	0%
Roadway maintenance	-	-	1,000	0%
Pedestrian crossing signage	-	-	1,000	0%
Drainage system maintenance	-	-	20,000	0%
Capital outlay	-	-	15,000	0%
Contingencies	-	-	14,607	0%
Total field operations	<u>4,511</u>	<u>133,242</u>	<u>374,207</u>	36%
<b>Other fees and charges</b>				
Property appraiser & tax collector	-	5,254	5,444	97%
Total other fees and charges	<u>-</u>	<u>5,254</u>	<u>5,444</u>	97%
Total expenditures	<u>31,457</u>	<u>286,732</u>	<u>520,936</u>	55%
Excess/(deficiency) of revenues over/(under) expenditures	(31,453)	239,161	1,620	
Fund balance - beginning	<u>509,860</u>	<u>239,246</u>	<u>169,125</u>	
Fund balance - ending (projected)	<u>478,407</u>	<u>478,407</u>	<u>170,745</u>	
Assigned				
3 months working capital	135,638	135,638	135,638	
Doral Cay stormwater	34,067	34,067	34,067	
Unassigned	<u>308,702</u>	<u>308,702</u>	<u>1,040</u>	
Fund balance - ending	<u>\$ 478,407</u>	<u>\$ 478,407</u>	<u>\$ 170,745</u>	

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
DEBT SERVICE FUND SERIES 2016  
FOR THE PERIOD ENDED SEPTEMBER 30, 2023**

	Current Month	Year to Date	Budget	% of Budget
<b>REVENUES</b>				
Special assessments - on roll	\$ -	\$ 183,186	\$ 182,046	101%
Interest	769	8,119	-	N/A
Total revenues	<u>769</u>	<u>191,305</u>	<u>182,046</u>	105%
<b>EXPENDITURES</b>				
Principal	-	58,000	58,000	100%
Interest	-	122,748	122,748	100%
Total expenditures	<u>-</u>	<u>180,748</u>	<u>180,748</u>	100%
<b>Other fees and charges</b>				
Property appraiser & tax collector	-	1,830	1,896	97%
Total other fees and charges	<u>-</u>	<u>1,830</u>	<u>1,896</u>	97%
Total expenditures	<u>-</u>	<u>182,578</u>	<u>182,644</u>	100%
Excess/(deficiency) of revenues over/(under) expenditures	769	8,727	(598)	
Fund balance - beginning	184,093	176,135	174,517	
Fund balance - ending	<u>\$ 184,862</u>	<u>\$ 184,862</u>	<u>\$ 173,919</u>	



**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
DEBT SERVICE FUND SERIES 2019  
FOR THE PERIOD ENDED SEPTEMBER 30, 2023**

	Current Month	Year to Date	Budget	% of Budget
<b>REVENUES</b>				
Special assessments - on roll	\$ -	\$ 1,085,835	\$ 1,079,080	101%
Interest	4,396	47,512	-	N/A
Total revenues	<u>4,396</u>	<u>1,133,347</u>	<u>1,079,080</u>	105%
<b>EXPENDITURES</b>				
Principal	-	640,000	640,000	100%
Interest	-	420,900	420,900	100%
Total expenditures	<u>-</u>	<u>1,060,900</u>	<u>1,060,900</u>	100%
<b>Other fees and charges</b>				
Property appraiser & tax collector	-	10,848	11,240	97%
Total other fees and charges	<u>-</u>	<u>10,848</u>	<u>11,240</u>	97%
Total expenditures	<u>-</u>	<u>1,071,748</u>	<u>1,072,140</u>	100%
Excess/(deficiency) of revenues over/(under) expenditures	4,396	61,599	6,940	
Fund balance - beginning	<u>1,052,485</u>	<u>995,282</u>	<u>1,019,116</u>	
Fund balance - ending	<u><u>\$ 1,056,881</u></u>	<u><u>\$ 1,056,881</u></u>	<u><u>\$ 1,026,056</u></u>	

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
CAPITAL PROJECTS FUND SERIES 2016  
FOR THE PERIOD ENDED SEPTEMBER 30, 2023**

	Current Month	Year to Date
<b>REVENUES</b>		
Interest & miscellaneous	\$ 58	\$ 743
Total revenues	58	743
<b>EXPENDITURES</b>		
Construction in progress	-	20,168
Total expenditures	-	20,168
Excess/(deficiency) of revenues over/(under) expenditures	58	(19,425)
Net change in fund balance	58	(19,425)
Fund balance - beginning	13,803	33,286
Fund balance - ending	\$ 13,861	\$ 13,861

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
SERIES 2016 AMORTIZATION SCHEDULE**

	<b>Principal</b>	<b>Interest</b>	<b>Debt Service</b>	<b>Bond Balance</b>
11/01/21		62,423.75	62,423.75	2,590,000.00
05/01/22	56,000.00	62,423.75	118,423.75	2,534,000.00
11/01/22		61,373.75	61,373.75	2,534,000.00
05/01/23	58,000.00	61,373.75	119,373.75	2,476,000.00
11/01/23		60,286.25	60,286.25	2,476,000.00
05/01/24	60,000.00	60,286.25	120,286.25	2,416,000.00
11/01/24		58,861.25	58,861.25	2,416,000.00
05/01/25	63,000.00	58,861.25	121,861.25	2,353,000.00
11/01/25		57,365.00	57,365.00	2,353,000.00
05/01/26	67,000.00	57,365.00	124,365.00	2,286,000.00
11/01/26		55,773.75	55,773.75	2,286,000.00
05/01/27	70,000.00	55,773.75	125,773.75	2,216,000.00
11/01/27		54,111.25	54,111.25	2,216,000.00
05/01/28	73,000.00	54,111.25	127,111.25	2,143,000.00
11/01/28		52,377.50	52,377.50	2,143,000.00
05/01/29	77,000.00	52,377.50	129,377.50	2,066,000.00
11/01/29		50,548.75	50,548.75	2,066,000.00
05/01/30	80,000.00	50,548.75	130,548.75	1,986,000.00
11/01/30		48,648.75	48,648.75	1,986,000.00
05/01/31	84,000.00	48,648.75	132,648.75	1,902,000.00
11/01/31		46,653.75	46,653.75	1,902,000.00
05/01/32	88,000.00	46,653.75	134,653.75	1,814,000.00
11/01/32		44,563.75	44,563.75	1,814,000.00
05/01/33	93,000.00	44,563.75	137,563.75	1,721,000.00
11/01/33		42,355.00	42,355.00	1,721,000.00
05/01/34	97,000.00	42,355.00	139,355.00	1,624,000.00
11/01/34		40,051.25	40,051.25	1,624,000.00
05/01/35	102,000.00	40,051.25	142,051.25	1,522,000.00
11/01/35		37,628.75	37,628.75	1,522,000.00
05/01/36	107,000.00	37,628.75	144,628.75	1,415,000.00
11/01/36		35,087.50	35,087.50	1,415,000.00
05/01/37	112,000.00	35,087.50	147,087.50	1,303,000.00

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
SERIES 2016 AMORTIZATION SCHEDULE**

	<b>Principal</b>	<b>Interest</b>	<b>Debt Service</b>	<b>Bond Balance</b>
11/01/37		32,427.50	32,427.50	1,303,000.00
05/01/38	118,000.00	32,427.50	150,427.50	1,185,000.00
11/01/38		29,625.00	29,625.00	1,185,000.00
05/01/39	124,000.00	29,625.00	153,625.00	1,061,000.00
11/01/39		26,525.00	26,525.00	1,061,000.00
05/01/40	130,000.00	26,525.00	156,525.00	931,000.00
11/01/40		23,275.00	23,275.00	931,000.00
05/01/41	136,000.00	23,275.00	159,275.00	795,000.00
11/01/41		19,875.00	19,875.00	795,000.00
05/01/42	143,000.00	19,875.00	162,875.00	652,000.00
11/01/42		16,300.00	16,300.00	652,000.00
05/01/43	151,000.00	16,300.00	167,300.00	501,000.00
11/01/43		12,525.00	12,525.00	501,000.00
05/01/44	159,000.00	12,525.00	171,525.00	342,000.00
11/01/44		8,550.00	8,550.00	342,000.00
05/01/45	167,000.00	8,550.00	175,550.00	175,000.00
11/01/45		4,375.00	4,375.00	175,000.00
05/01/46	175,000.00	4,375.00	179,375.00	-
<b>Total</b>	<b>2,590,000.00</b>	<b>1,963,175.00</b>	<b>4,553,175.00</b>	

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
SERIES 2019 SENIOR BONDS AMORTIZATION SCHEDULE**

	<b>Principal</b>	<b>Coupon</b>	<b>Interest</b>	<b>Debt Service</b>	<b>Bond Balance</b>
11/01/21			146,175.00	146,175.00	9,745,000.00
05/01/22	445,000.00	3.000%	146,175.00	591,175.00	9,300,000.00
11/01/22			139,500.00	139,500.00	9,300,000.00
05/01/23	460,000.00	3.000%	139,500.00	599,500.00	8,840,000.00
11/01/23			132,600.00	132,600.00	8,840,000.00
05/01/24	475,000.00	3.000%	132,600.00	607,600.00	8,365,000.00
11/01/24			125,475.00	125,475.00	8,365,000.00
05/01/25	490,000.00	3.000%	125,475.00	615,475.00	7,875,000.00
11/01/25			118,125.00	118,125.00	7,875,000.00
05/01/26	500,000.00	3.000%	118,125.00	618,125.00	7,375,000.00
11/01/26			110,625.00	110,625.00	7,375,000.00
05/01/27	520,000.00	3.000%	110,625.00	630,625.00	6,855,000.00
11/01/27			102,825.00	102,825.00	6,855,000.00
05/01/28	535,000.00	3.000%	102,825.00	637,825.00	6,320,000.00
11/01/28			94,800.00	94,800.00	6,320,000.00
05/01/29	550,000.00	3.000%	94,800.00	644,800.00	5,770,000.00
11/01/29			86,550.00	86,550.00	5,770,000.00
05/01/30	565,000.00	3.000%	86,550.00	651,550.00	5,205,000.00
11/01/30			78,075.00	78,075.00	5,205,000.00
05/01/31	585,000.00	3.000%	78,075.00	663,075.00	4,620,000.00
11/01/31			69,300.00	69,300.00	4,620,000.00
05/01/32	600,000.00	3.000%	69,300.00	669,300.00	4,020,000.00
11/01/32			60,300.00	60,300.00	4,020,000.00
05/01/33	620,000.00	3.000%	60,300.00	680,300.00	3,400,000.00
11/01/33			51,000.00	51,000.00	3,400,000.00
05/01/34	640,000.00	3.000%	51,000.00	691,000.00	2,760,000.00
11/01/34			41,400.00	41,400.00	2,760,000.00
05/01/35	660,000.00	3.000%	41,400.00	701,400.00	2,100,000.00
11/01/35			31,500.00	31,500.00	2,100,000.00
05/01/36	680,000.00	3.000%	31,500.00	711,500.00	1,420,000.00
11/01/36			21,300.00	21,300.00	1,420,000.00
05/01/37	700,000.00	3.000%	21,300.00	721,300.00	720,000.00
11/01/37			10,800.00	10,800.00	720,000.00
05/01/38	720,000.00	3.000%	10,800.00	730,800.00	-
<b>Total</b>	<b>9,745,000.00</b>		<b>2,840,700.00</b>	<b>12,585,700.00</b>	

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT  
SERIES 2019 SUBORDINATED BONDS AMORTIZATION SCHEDULE**

	<b>Principal</b>	<b>Coupon</b>	<b>Interest</b>	<b>Debt Service</b>	<b>Bond Balance</b>
11/01/21			73,684.38	73,684.38	4,000,000.00
05/01/22	175,000.00	3.125%	73,684.38	248,684.38	3,825,000.00
11/01/22			70,950.00	70,950.00	3,825,000.00
05/01/23	180,000.00	3.125%	70,950.00	250,950.00	3,645,000.00
11/01/23			68,137.50	68,137.50	3,645,000.00
05/01/24	185,000.00	3.125%	68,137.50	253,137.50	3,460,000.00
11/01/24			65,246.88	65,246.88	3,460,000.00
05/01/25	195,000.00	3.375%	65,246.88	260,246.88	3,265,000.00
11/01/25			61,956.25	61,956.25	3,265,000.00
05/01/26	200,000.00	3.375%	61,956.25	261,956.25	3,065,000.00
11/01/26			58,581.25	58,581.25	3,065,000.00
05/01/27	205,000.00	3.375%	58,581.25	263,581.25	2,860,000.00
11/01/27			55,121.88	55,121.88	2,860,000.00
05/01/28	215,000.00	3.375%	55,121.88	270,121.88	2,645,000.00
11/01/28			51,493.75	51,493.75	2,645,000.00
05/01/29	220,000.00	3.375%	51,493.75	271,493.75	2,425,000.00
11/01/29			47,781.25	47,781.25	2,425,000.00
05/01/30	230,000.00	3.375%	47,781.25	277,781.25	2,195,000.00
11/01/30			43,900.00	43,900.00	2,195,000.00
05/01/31	240,000.00	4.000%	43,900.00	283,900.00	1,955,000.00
11/01/31			39,100.00	39,100.00	1,955,000.00
05/01/32	245,000.00	4.000%	39,100.00	284,100.00	1,710,000.00
11/01/32			34,200.00	34,200.00	1,710,000.00
05/01/33	255,000.00	4.000%	34,200.00	289,200.00	1,455,000.00
11/01/33			29,100.00	29,100.00	1,455,000.00
05/01/34	270,000.00	4.000%	29,100.00	299,100.00	1,185,000.00
11/01/34			23,700.00	23,700.00	1,185,000.00
05/01/35	280,000.00	4.000%	23,700.00	303,700.00	905,000.00
11/01/35			18,100.00	18,100.00	905,000.00
05/01/36	290,000.00	4.000%	18,100.00	308,100.00	615,000.00
11/01/36			12,300.00	12,300.00	615,000.00
05/01/37	300,000.00	4.000%	12,300.00	312,300.00	315,000.00
11/01/37			6,300.00	6,300.00	315,000.00
05/01/38	315,000.00	4.000%	6,300.00	321,300.00	-
<b>Total</b>	<b>4,000,000.00</b>		<b>1,519,306.25</b>	<b>5,519,306.25</b>	

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**MINUTES**

**DRAFT**

**MINUTES OF MEETING  
LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

The Board of Supervisors of the Landmark at Doral Community Development District held Public Hearings and a Regular Meeting on September 13, 2023, at 4:00 p.m., at The Landmark Clubhouse, 10220 NW 66<sup>th</sup> Street, Doral, Florida 33178.

**Present for Landmark at Doral CDD:**

Su-Wun Bosco Leu	Chair
Todd Patterson	Vice Chair
Odel Torres	Assistant Secretary
Juan Carlos Tellez	Assistant Secretary
Jorge Finol	Assistant Secretary

**Also present were:**

Daniel Rom	District Manager
Gregory George	District Counsel
Juan Alvarez	District Engineer
Judy Calderon-Robles	HOA
Ramon Sanchez	HOA
Shannon Denouden	BrightView Landscaping

**FIRST ORDER OF BUSINESS**

**Call to Order/Roll Call**

Mr. Rom called the meeting to order at 4:05 p.m. Supervisors Bosco, Patterson, Torres and Tellez were present, in person. Supervisor Finol was not present at roll call.

**SECOND ORDER OF BUSINESS**

**Public Comments**

No members of the public spoke.

**THIRD ORDER OF BUSINESS**

**Business Items**

**A. Discussion/Consideration**

**I. SCS Engineers Change Order # 5**

Mr. Rom presented SCS Engineers (SCS) Change Order #5 related to retesting of the wells and a groundwater study, with total fees of \$30,250.



41 Mr. Alvarez discussed the ongoing nature and significant amount of money spent on  
42 testing. He noted that SCS advised that testing might allow for the lake to be deemed stabilized,  
43 leading to reduced monitoring that could be less costly than possible remediations and agreed  
44 that it might be worth seeking a second opinion due to the cost.

45 Discussion ensued regarding the Change Order, escalating costs and approaching the  
46 Department of Environmental Resources Management (DERM) to demonstrate the hardship to  
47 the CDD. It was noted that Lennar is not responsible for remedying the issue.

48 The need to meet DERM requirements was discussed.

49 **Mr. Finol joined the meeting at approximately 4:15 p.m.**

50 Mr. Alvarez will request another review. Mr. Rom will request an extension via SCS.  
51 District Counsel will request a review on a legal basis due to financial strain.

52 This item was deferred.

53 **II. Landscaping Along the CDD Perimeter of NW 107th & NW 102nd**

54 **III. Landscaping in Alley Entry/Exit Areas**

55 Ms. Denouden presented the proposal for landscaping along the CDD perimeter of NW  
56 107th & NW 102nd (Area B, SO# 8202753 and Area C, SO# 8202766) and the proposal for extra  
57 landscaping in the alley entry and exit areas (Area A, SO# 8202704). She responded to questions  
58 regarding the scope of work and locations on the map sent by Mr. Rom. Mr. Alvarez stated he  
59 will provide a list of acceptable wetland species. Ms. Denouden will present updated pricing for  
60 the additional options discussed.

61 Discussion ensued regarding the scope of work, cost for various sizes of foliage and  
62 discount and project cost, including contingency.

63

64 **On MOTION by Mr. Torres and seconded by Mr. Patterson, with all in favor,**  
65 **both projects, in a not-to-exceed amount of \$45,000, were approved.**

66

67 **On MOTION by Mr. Torres and seconded by Mr. Patterson, with all in favor,**  
68 **authorizing Supervisor Bosco to oversee the installations, was approved.**

69

70

71 **IV. Brightview Landscape Services Proposal to Treat Unmaintained Area**

72 Ms. Denouden presented the proposal for treating invasive weeds and vines  
73 encroaching on the perimeter hedges in the unmaintained area along the eastern perimeter

74 hedge dividing the CDD from the wetland area (Landmark perimeter setback area, SO# 8198788  
75 and SO# 8198811). She presented photos of affected areas and discussed the scope of work  
76 needed to maintain a 2' to 3' space between the wetlands and the hedge.

77 Mr. Alvarez noted that, in the past, some landscaping invaded the wetlands and the CDD  
78 was required to remove it. He opined that the proposal would be beneficial. Asked what service  
79 Allstate performs, Mr. Alvarez stated Allstate only removes invasive plants; he will provide Ms.  
80 Denouden a list of acceptable and unacceptable plants for the area. Ms. Denouden stated she is  
81 willing to work with the existing vendors.

82 The consensus was to defer the proposal and work with existing vendors.

83 **V. Lighting in Medians Along NW 66th St.**

84 It was noted that this issue was discussed at the last meeting. Mr. Alvarez stated that,  
85 for safety reasons, light poles in the median are not allowed. He estimated that landscape  
86 enhancement lighting could be installed for \$100,000 to \$125,000 in construction costs. He  
87 responded to questions about the scope of work, construction and the design costs.

88 Mr. Rom stated that \$50,000 was budgeted for this line item; funds can be reallocated  
89 but the cap assessment level for the budget was already set and cannot be increased.

90 Mr. Alvarez estimated the entire project would cost \$150,000, including design. The  
91 CDD would be responsible for maintaining the lighting and a covenant with the City of Doral  
92 would likely be needed as the City owns the right-of-way (ROW). The City is responsible for the  
93 roads but will allow enhancements if the CDD or the HOA maintains the enhancements.

94 Mr. Bosco noted that the first median by the fountain already has lights. Mr. Alvarez  
95 stated, if plans for existing median lighting are available, it might reduce the amount of time  
96 needed to develop the construction plans. Mr. Torres will assist in this regard.

97

98 **On MOTION by Mr. Torres and seconded by Mr. Tellez, with all in favor,**  
99 **authorizing Alvarez Engineering to prepare construction plans, was approved.**

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**VI. Parking Enforcement**

103

**a. Medel Protection & Security Corp Proposal**

104

105

Mr. Rom recalled that there is an existing security services administrative agreement  
with the HOA with regard to the agreement with Allied Universal, which stipulated that the

106 HOA will only serve as the administrator, on the CDD's behalf, if both entities share the same  
107 security services company. The HOA terminated Allied Universal as its security company;  
108 therefore, the agreement was terminated, on the CDD's behalf, as well. Upon learning that the  
109 HOA published a Request for Proposals (RFP) and engaged Medel Protection & Security  
110 Corporation (Medel), Mr. Rom requested proposals from Medel for the CDD to consider.

111 Mr. Rom presented three proposals from Medel with various levels of coverage. He  
112 noted that \$187,000 is assigned for security services.

113 Discussion ensued regarding the proposals and funding.  
114

115 **On MOTION by Mr. Torres and seconded by Mr. Tellez, with Mr. Torres and Mr.**  
116 **Tellez in favor and Mr. Bosco, Mr. Patterson and Mr. Finol dissenting, Medel**  
117 **Protection & Security Corp Proposal #2 for 140 hours of service per week, was**  
118 **not approved. [Motion failed 2-3]**

119  
120

121 **b. Ratification of Agreement Termination with Allied Universal Security**  
122 **Services**

123 Mr. Rom presented the Notice of Intent to Termination of the agreement with Allied  
124 Universal Security Services.  
125

126 **On MOTION by Mr. Bosco and seconded by Mr. Patterson, with all in favor, the**  
127 **termination of the agreement with Allied Universal Security Services, was**  
128 **ratified.**

129  
130

131 **▪ Consideration of invoice from Medel**

132 **This item was an addition to the agenda.**

133 Mr. Rom presented an invoice from Medel for 16 days of security services for August,  
134 noting that the HOA requested reimbursement for 16 days of service provided under the  
135 assumption that the CDD would approve.  
136

137 **On MOTION by Mr. Torres and seconded by Mr. Tellez, with all in favor, the**  
138 **invoice from Medel for 16 days of security services, in the amount of \$9,816,**  
139 **was approved.**

140

141

142 Mr. Rom stated any additional invoices submitted will be presented for Board approval.

143 **B. Ratification**

144 • **RaptorVac Systems Storm Drain Maintenance Proposal and Invoice**

145 Mr. Rom presented the RaptorVac Systems Storm Drain Maintenance Proposal and  
146 Invoice, noting that pictures showed the work was necessary. Mr. Alvarez stated numerous  
147 residents complained that the work was needed.

148 A Board Member stated that drains are still not flowing freely, even after the work was  
149 completed, and stated there were issues at Building 21. Mr. Rom stated a report was provided  
150 and concerns with one of the drains were indicated; he will follow up with RaptorVac and have  
151 them re-treat, if necessary.

152 Mr. Alvarez discussed the work performed and noted that, per RaptorVac, two drains  
153 need additional maintenance.

154

155 **On MOTION by Mr. Bosco and seconded by Mr. Finol, with all in favor, the**  
156 **RaptorVac Systems Storm Drain Maintenance Proposal and Invoice, in the**  
157 **amount of \$2,000, was ratified.**

158

159

160 **C. Continued Discussion**

161 **I. Fence Project**

162 Mr. Alvarez recalled the proposal to enclose the Florida Power & Light (FPL) areas and  
163 stated the length would need to be 2,700 linear feet. Since there must be access to the  
164 wetlands, two gates would be needed. The total cost would be \$65,000 to \$75,000. A solution  
165 was proposed to close one area but FPL never responded. Mr. Rom noted that other fence  
166 repairs are needed but it has been difficult to find a company willing to do the work. Mr. Rom  
167 will ask the HOA if it has a willing contractor. This matter was tabled.

168 **II. Future Lake Beautification Project**

169 Mr. Rom recalled that Mr. Bosco was authorized to work with Staff on the project. Mr.  
170 Bosco suggested mimicking the design of the Linear Park and other parks. The consensus of the  
171 Board was to proceed. Mr. Bosco will present a concept for consideration before work begins.

172 **III. Review of CDD Maintenance**

173 • **Maintenance Scorecard**

174 Mr. Rom stated he did not receive a maintenance scorecard from the HOA. Mr. Bosco  
175 suggested the Board Members advise Mr. Rom of their observations and that Mr. Rom contact  
176 the HOA. Mr. Rom stated that Board Members can email their observations to him any time.

177 Mr. Bosco believes there was some progress repairing the FPL lights. He stated some of  
178 the white light lampposts do not work and the green umbrellas need to be repaired.

179 Discussion ensued regarding the need for lights in various parks, streetlights versus  
180 smaller lights and the desire to install additional lighting.

181

182 **On MOTION by Mr. Torres and seconded by Mr. Patterson, with all in favor,**  
183 **authorizing the District Engineer to provide estimates for lighting options in the**  
184 **Linear Park, was approved.**

185

186

187 **D. Engineer’s Report**

188 **I. Fiscal Year 2023-2024 Annual Report of CDD Improvements**

189 Mr. Alvarez presented the Fiscal Year 2023-2024 Annual Report of CDD Improvements,  
190 which is required annually to inform the bondholders about the progress of funded  
191 improvements.

192

193 **On MOTION by Mr. Torres and seconded by Mr. Patterson, with all in favor, the**  
194 **Fiscal Year 2023-2024 Annual Report of CDD Improvements, was approved.**

195

196

197 **II. Map of Property Ownership within Landmark at Doral CDD**

198 Mr. Alvarez presented the color-coded map, which depicts property ownership within  
199 the CDD. The Board Members were appreciative.

200 **III. Update: Status of Certificate of Completion**

201 Mr. Alvarez stated, with the recent final lift of asphalt, the project was physically  
202 completed. He will ensure all permits are closed and the status of completion.

203

204 **FOURTH ORDER OF BUSINESS**

**Public Hearing on Adoption of Fiscal Year  
2023/2024 Budget**

205

206

207 **A. Proof/Affidavit of Publication**

208 The affidavit of publication was included for informational purposes.

209 **B. Consideration of Resolution 2023-07, Relating to the Annual Appropriations and**  
 210 **Adopting the Budget for the Fiscal Year Beginning October 1, 2023, and Ending**  
 211 **September 30, 2024; Authorizing Budget Amendments; and Providing an Effective**  
 212 **Date**

213 Mr. Rom presented Resolution 2023-07 and the proposed Fiscal Year 2024 budget and  
 214 responded to questions. He noted that, because “Security services” was not approved, those  
 215 funds will be reallocated.

216

217 **On MOTION by Mr. Torres and seconded by Mr. Tellez, with all in favor, the**  
 218 **Public Hearing was opened.**

219

220

221

No members of the public spoke.

222

223 **On MOTION by Mr. Torres and seconded by Mr. Finol, with all in favor, the**  
 224 **Public Hearing was closed.**

225

226 **On MOTION by Mr. Torres and seconded by Mr. Patterson, with all in favor,**  
 227 **eliminating the \$187,500 from the “Security services” line item and allocating**  
 228 **the \$187,500 to unassigned fund balance, was approved.**

229

230

231

The following changes were made to the proposed Fiscal Year 2024 budget:

232

Page 2, “Security services” line item: Reduce to \$0.00

233

Page 2, “Unassigned” fund balance line item: Increase, adding additional \$187,500

234

235 **On MOTION by Mr. Bosco and seconded by Mr. Torres, with all in favor,**  
 236 **Resolution 2023-07, Relating to the Annual Appropriations and Adopting the**  
 237 **Budget for the Fiscal Year Beginning October 1, 2023, and Ending September**  
 238 **30, 2024, as amended; Authorizing Budget Amendments; and Providing an**  
 239 **Effective Date, was adopted.**

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**FIFTH ORDER OF BUSINESS**

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**Public Hearing to Hear Comments and**  
**Objections on the Imposition of Special**  
**Assessments for Operations and**  
**Maintenance for Fiscal Year 2023/2024,**  
**Pursuant to Florida Law**

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**A. Proof/Affidavit of Publication**

The affidavit of publication was included for informational purposes.

**B. Consideration of Resolution 2023-08, Making a Determination of Benefit and Imposing Special Assessments for Fiscal Year 2023/2024; Providing for the Collection and Enforcement of Special Assessments; Certifying an Assessment Roll; Providing for Amendments to the Assessment Roll; Providing a Severability Clause; and Providing an Effective Date**

Mr. Rom presented Resolution 2023-08, which sets forth the assessments based on the adopted budget and assessment rolls and authorizes collection of the assessments utilizing the services of the Property Appraiser and Tax Collector.

**On MOTION by Mr. Bosco and seconded by Mr. Finol, with all in favor, the Public Hearing was opened.**

No members of the public spoke.

**On MOTION by Mr. Bosco and seconded by Mr. Finol, with all in favor, the Public Hearing was closed.**

**On MOTION by Mr. Bosco and seconded by Mr. Finol, with all in favor, Resolution 2023-08, Making a Determination of Benefit and Imposing Special Assessments for Fiscal Year 2023/2024; Providing for the Collection and Enforcement of Special Assessments; Certifying an Assessment Roll; Providing for Amendments to the Assessment Roll; Providing a Severability Clause; and Providing an Effective Date, was adopted.**

**SIXTH ORDER OF BUSINESS**

**Consent Agenda Items**

- A. Acceptance of Unaudited Financial Statements as of July 31, 2023**
- B. Approval of June 15, 2023 Regular Meeting Minutes**

**On MOTION by Mr. Bosco and seconded by Mr. Torres, with all in favor, the Consent Agenda Items, as presented, were accepted and approved, respectively.**

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**SEVENTH ORDER OF BUSINESS**

**Staff Reports**

**A. District Counsel: Billing, Cochran, Lyles, Mauro & Ramsey, P.A.**

Mr. George stated a memo will be sent with information regarding the required four-hour Ethics Continuing Education course.

**B. District Engineer: Alvarez Engineers, Inc.**

There was no report.

**C. District Manager: Wrathell, Hunt and Associates, LLC**

- **NEXT MEETING DATE: October 18, 2023 at 4:00 P.M.**

- **QUORUM CHECK**

The next meeting will be October 18, 2023.

**EIGHTH ORDER OF BUSINESS**

**Public Comments**

There were no public comments.

**NINTH ORDER OF BUSINESS**

**Supervisors' Requests**

Mr. Bosco asked if the parking agreement that was tendered to the HOA can ultimately be managed by the CDD. Mr. Rom replied affirmatively.

Discussion ensued regarding the CDD map, management of parking and a parking vendor that offers revenue sharing.

Mr. Rom will contact the vendor and report his findings at the next meeting.

**TENTH ORDER OF BUSINESS**

**Adjournment**

**On MOTION by Mr. Finol and seconded by Mr. Patterson, with all in favor, the meeting adjourned at 6:23 p.m.**

[SIGNATURES APPEAR ON THE FOLLOWING PAGE]



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Secretary/Assistant Secretary

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Chair/Vice Chair

**LANDMARK AT DORAL  
COMMUNITY DEVELOPMENT DISTRICT**

**STAFF  
REPORTS**

**LANDMARK AT DORAL COMMUNITY DEVELOPMENT DISTRICT**

**BOARD OF SUPERVISORS FISCAL YEAR 2023/2024 MEETING SCHEDULE**

**LOCATION**

*Landmark Clubhouse, 10220 NW 66th Street, Doral, Florida 33178*

<b>DATE</b>	<b>POTENTIAL DISCUSSION/FOCUS</b>	<b>TIME</b>
<b>October 18, 2023 CANCELED</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>November 15, 2023</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>December 20, 2023</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>January 17, 2024</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>February 21, 2024</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>March 20, 2024</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>April 17, 2024</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>May 15, 2024</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>July 17, 2024</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>August 21, 2024</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>
<b>September 11, 2024</b>	<b>Regular Meeting</b>	<b>4:00 PM</b>